

DATE SUBMITTED: 3-23-93

PERMIT NO. 44426 ✓

FEE \$ 5⁰⁰

PLANNING CLEARANCE

GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

BLDG ADDRESS 2388 1/2 W. Platana Ct

SQ. FT. OF BLDG: 2125

SUBDIVISION Ridges

SQ. FT. OF LOT: 9600

FILING # 3 BLK # 18 LOT # 11C

NO. OF FAMILY UNITS: 1

TAX SCHEDULE # 2945-201-10-011

NO. OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION: 0

OWNER Vernon Marlene Black

USE OF EXISTING BUILDINGS: N/A

ADDRESS 1326 N. 1st

DESCRIPTION OF WORK AND INTENDED USE: new construction

TELEPHONE: 3-217264 7-72046

REQUIRED: Two plot plans showing parking, landscaping, setbacks to all property lines, and all streets which abut the parcel.

FOR OFFICE USE ONLY

ZONE PR

Designated
FLOODPLAIN: YES _____ NO

SETBACKS: FRONT 20'

GEOLOGIC HAZARD: YES _____ NO _____

SIDE 10' REAR 10'

CENSUS TRACT: 14 TRAFFIC ZONE: 94

MAXIMUM HEIGHT _____

PARKING REQ'MT _____

LANDSCAPING/SCREENING REQUIRED: _____

SPECIAL CONDITIONS: _____

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a Certificate of Occupancy is issued by the Building Department (Section 307, Uniform Building Code).

Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition shall be required.

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. Failure to comply shall result in legal action.

M. Pety
Department Approval

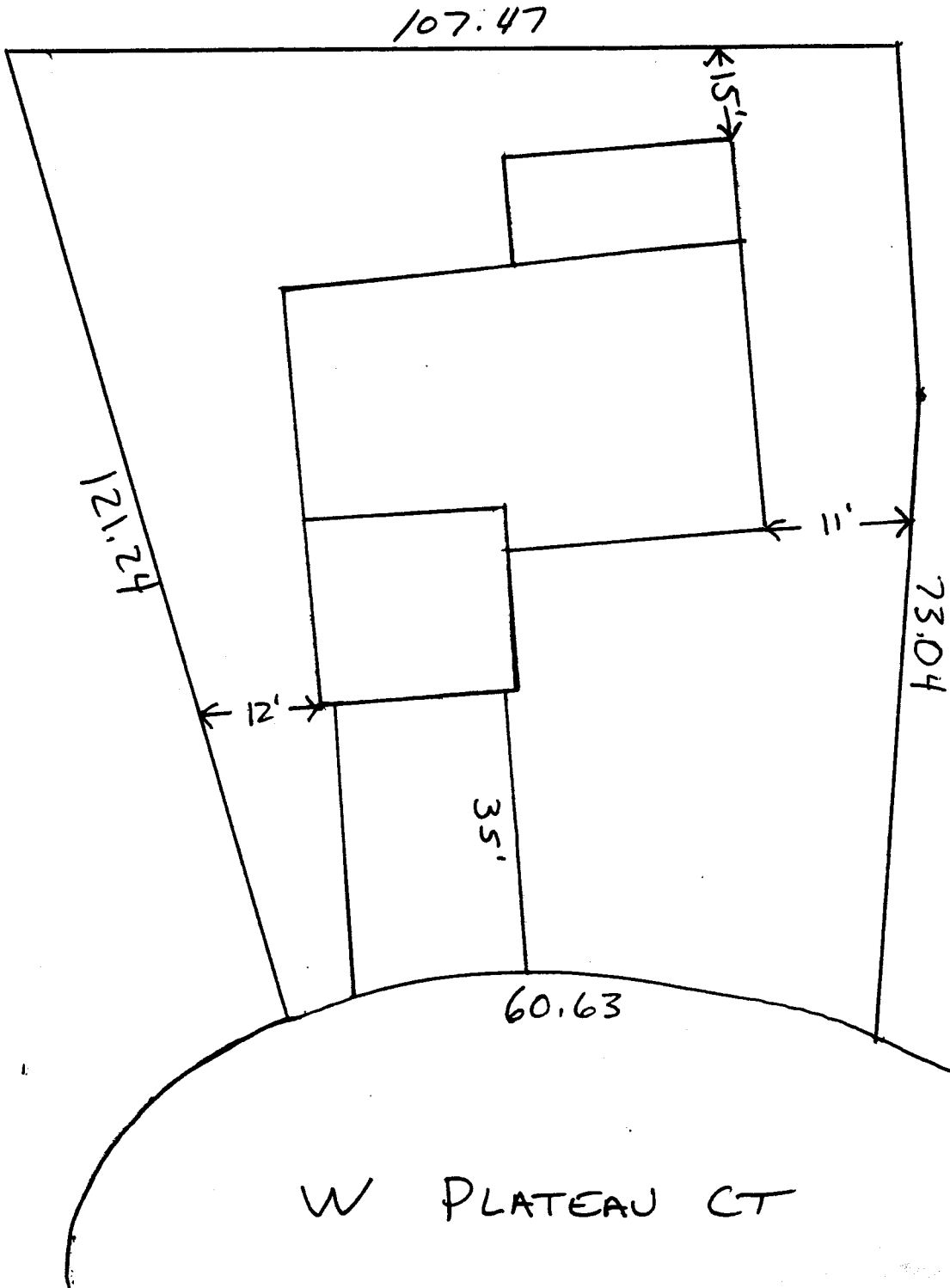
[Signature]
Applicant Signature

3-23-93
Date Approved

3/23/93
Date

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2 D Grand Junction Zoning & Development Code)

ACCEPTED MP 3-23-93
ANY CHANGE OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPT. IT IS THE APPLICANT'S
RESPONSIBILITY TO PROPERLY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES.



► APPROVAL FOR BUILDING PERMIT ◀
Ridges Architectural Control Committee (ACCO)

Job No. 93-10
 Builder or Homeowner Steve Koytilla
 Ridges Filing No. 4
 Block 18 Lot 11C
 Pages Submitted 3
 Date Submitted 3-21-93

A - Approved
 NA - Not Approved

SITE PLAN

- | | | | |
|-------------------------------------|--------------------------|---|-------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) | _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) | _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) | _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Square Footage | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) | _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Drainage | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping | _____ |

241-1606
2388 1/2 W. Plateau Ct.

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

TERIOR ELEVATIONS

- | | | | |
|-------------------------------------|--------------------------|--|----------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Height (25'0" maximum) | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material <u>Asphalt/Fiberglas 'Tameo'</u> | Color <u>cedar blend</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color | _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Siding - Material <u>Cedar</u> | Color <u>DB 1901 cedar</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Material _____ | Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony | _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Porches or patios <u>sun porch</u> | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Other | _____ |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

4" minimum concrete driveway and sidewalk. May substitute tile for sidewalk.
landscaping - minimum final grading
Need \$5.00 processing fee (cash only)
Recommend stain with UV protection

NOTE: Architectural Control Committee assumes no responsibility for the design, application, or conformance to all applicable codes.

NOTE: Sewer, radon, and water permits must be obtained prior

NOTE: ACCO makes no judgement on foundation design.

Signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee
 By [Signature]
 By [Signature]
21 MAR '93
William M. Stein 3-21-93

Builder/Realtor/Homeowner
 By _____
 Date _____