

DATE SUBMITTED 12-21-93

BUILDING PERMIT NO. 47245
FEE \$ 5.00

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Department of Community Development

BLDG ADDRESS 2389 1/2 Plumtree Rd Ct. SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1344
SUBDIVISION Ridgeway SQ. FT. OF EXISTING BLDG(S) None
FILING 6 BLK 29 LOT 16[#] NO. OF FAMILY UNITS 1
TAX SCHEDULE NO. 2945-174-33-016 NO. OF BLDGS ON PARCEL BEFORE THIS CONSTRUCTION None
OWNER Pat Withers DESCRIPTION OF WORK AND INTENDED USE:
ADDRESS 1340 North Ave. Build Single Family Residence
TELEPHONE 241-2100

REQUIRED: Two plot plans showing parking, setbacks to all property lines, and all rights-of-way which abut the parcel.

ZONE PR DESIGNATED FLOODPLAIN: YES _____ NO
SETBACKS: Front 20' from property line or 20' from center of ROW, whichever is greater GEOLOGIC HAZARD: YES _____ NO _____
Side 0-10 from property line (5') CENSUS TRACT 14 TRAFFIC ZONE 96
Rear 10' from property line PARKING REQ'MT _____
Maximum Height 25' SPECIAL CONDITIONS: _____
Maximum coverage of lot by structures _____

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a final inspection has been completed by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. I understand that failure to comply shall result in legal action.

Department Approval Marcia Peltz Applicant Signature Geoff Mumpke
Date Approved 12-21-93 Date 12/13/93

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department)

► APPROVAL FOR BUILDING PERMIT ◄
Ridges Architectural Control Committee (ACCO)

Job No. 93-50
 Builder or Homeowner GERALD MUMFORDA
 Ridges Filing No. 6
 Block 29 Lot 16A
 Pages Submitted _____
 Date Submitted 12-13-93

A - Approved
 NA - Not Approved

SITE PLAN

- | A | NA | |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) <u>A lot 5' irrigation easement on each side.</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Square Footage <u>1344 sq'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks <u>4" concrete</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) <u>4" concrete</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Drainage <u>culvert under driveway and 2" irrigation pipe</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping <u>customer provide</u> |

2389 1/2 PLEASANT RIDGE CT
245-4931 Mumforda

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

TERIOR ELEVATIONS

- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'-0" maximum) <u>15'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material <u>TARXO FIBERGLASS</u> Color <u>TRN/GRN</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color <u>SW 2171 + SW 2016</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material <u>CEDAR TEX</u> Color <u>SW'S PUEBLO SW 2179</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Material _____ Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color <u>ROBINSON OLD CHICAGO</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Other _____ |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

Paint vent pipes, roof vents, turbine vents, galvanized metal below
swamp cooler, etc. a color similar to roof color. (brown, dark grey, or black)

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

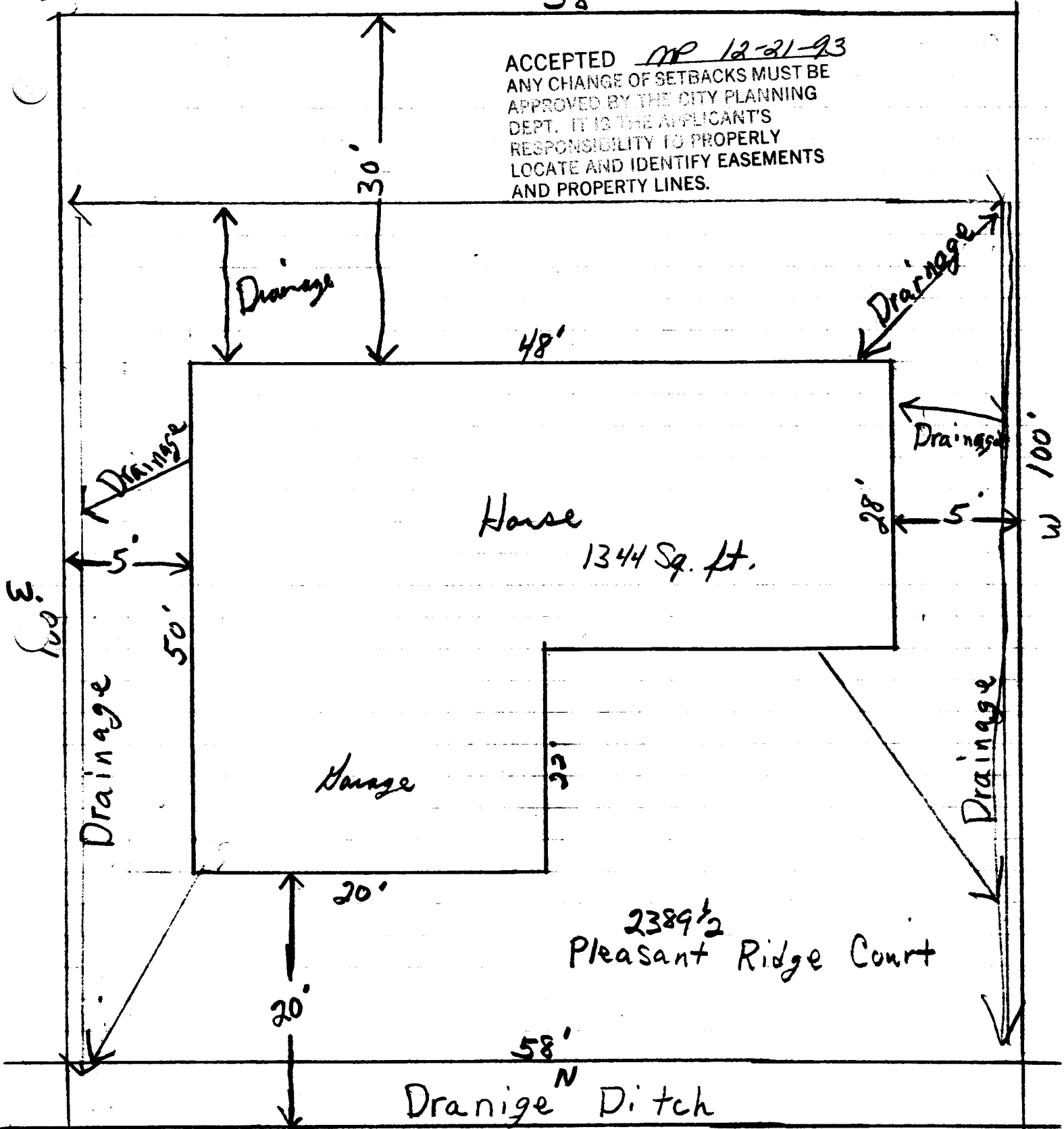
By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee
 By [Signature] 12-13-93
 By [Signature] 12/17/93

Builder/Realtor/Homeowner
 By _____
 Date _____

58'

ACCEPTED MP 12-21-93
ANY CHANGE OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPT. IT IS THE APPLICANT'S
RESPONSIBILITY TO PROPERLY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES.



House
1344 Sq. Ft.

Garage

2389 1/2
Pleasant Ridge Court

Pleasant Ridge Court

Lot 16A Block 29
Filing #6