

DATE SUBMITTED 10-14-93

BUILDING PERMIT NO. _____

FEE \$ 5.00

46736

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Department of Community Development

BLDG ADDRESS 2006 POPLAR DRIVE

SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1200 #

SUBDIVISION POMONA SUB. VIEW SUB

SQ. FT. OF EXISTING BLDG(S) 1500

FILING _____ BLK 3 LOT #1

NO. OF FAMILY UNITS 1

TAX SCHEDULE NO. 2945-101-07-004

OWNER TED AND DONNA GARRESON

NO. OF BLDGS ON PARCEL BEFORE THIS CONSTRUCTION 1

ADDRESS 2006 POPLAR DRIVE

DESCRIPTION OF WORK AND INTENDED USE:

TELEPHONE 245-4583

ADDITION/REMODEL

REQUIRED: Two plot plans showing parking, setbacks to all property lines, and all rights-of-way which abut the parcel.

ZONE RSF-5

DESIGNATED FLOODPLAIN: YES _____ NO

SETBACKS: Front 20' from property line or 5' from center of ROW, whichever is greater

GEOLOGIC HAZARD: YES _____ NO

Side 5' from property line

CENSUS TRACT 4 TRAFFIC ZONE 10

Rear 25' from property line

PARKING REQ'MT _____

Maximum Height _____

SPECIAL CONDITIONS: _____

Maximum coverage of lot by structures _____

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a final inspection has been completed by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. I understand that failure to comply shall result in legal action.

Department Approval Marcia [Signature]

Applicant Signature Jack Dye [Signature]

Date Approved 10-14-93

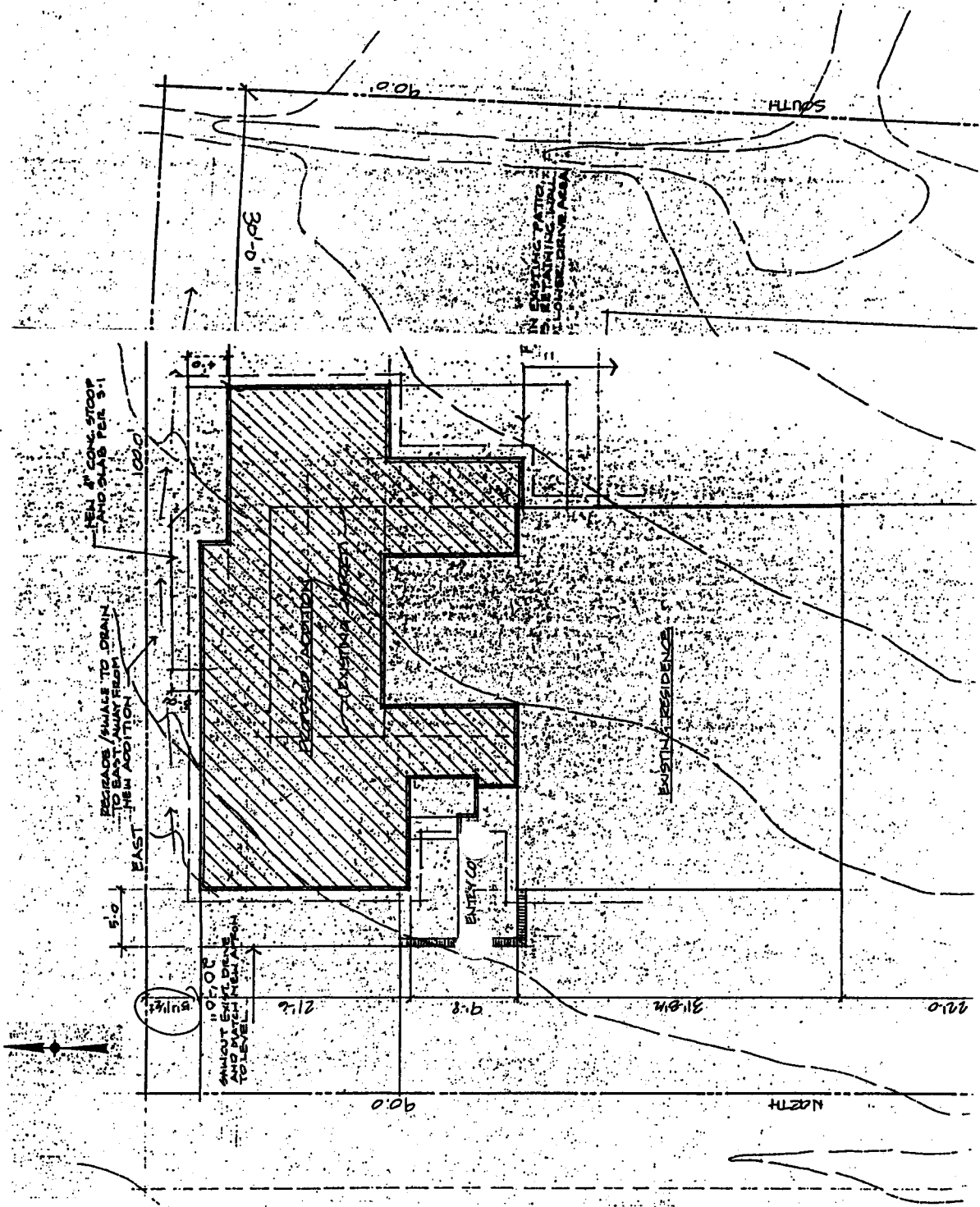
Date _____

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning)

(Yellow: Customer)

(Pink: Building Department)



ACCEPTED *MP 10-14-93*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.