

4, 1993

BUILDING PERMIT NO. 410569
FEE \$ 500.00

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Department of Community Development

BLDG ADDRESS 406 PROSPECTOR PT.
SUBDIVISION RIDGES
FILING 6 BLK 9 LOT 8A
TAX SCHEDULE NO. 2945-174-29008
OWNER MOGENSEN-KURTZ HOMES, INC.
ADDRESS 1216 FLOOD AVE, GRAND JCT, CO.
TELEPHONE (303) 941-7067

SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1877
SQ. FT. OF EXISTING BLDG(S) —
NO. OF FAMILY UNITS 1
NO. OF BLDGS ON PARCEL BEFORE THIS CONSTRUCTION —

DESCRIPTION OF WORK AND INTENDED USE:
RESIDENCE - SINGLE FAMILY DETACHED

REQUIRED: Two plot plans showing parking, setbacks to all property lines, and all rights-of-way which abut the parcel.

ZONE _____
SETBACKS: Front 20' from property line or from center of ROW, whichever is greater
Side 5' from property line
Rear 10' from property line
Maximum Height 25
Maximum coverage of lot by structures _____

DESIGNATED FLOODPLAIN: YES _____ NO _____
GEOLOGIC HAZARD: YES _____ NO _____
CENSUS TRACT _____ TRAFFIC ZONE _____
PARKING REQ'MT _____
SPECIAL CONDITIONS: _____

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a final inspection has been completed by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. I understand that failure to comply shall result in legal action.

Department Approval [Signature]
Date Approved Oct 4, 1993

Applicant Signature [Signature]
Date Oct 4, 1993

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department)

► APPROVAL FOR BUILDING PERMIT ◀
Ridges Architectural Control Committee (ACCO)

Job No. 93-38
 Builder or Homeowner MOGENSEN-KURTZ HOMES, INC
 Ridges Filing No. 6
 Block 9 Lot 8A
 Pages Submitted 5 PAGES
 Date Submitted SEPT. 20, '93

- Approved
 - Not Approved

SITE PLAN

- | | | | |
|-------------------------------------|--------------------------|---|---------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) | _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) | <u>10'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) | <u>5'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Square Footage | <u>1877</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Sidewalks | <u>concrete</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) | <u>concrete</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Drainage | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping | <u>Buyer decide</u> |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

EXTERIOR ELEVATIONS

- | | | | |
|-------------------------------------|--------------------------|-------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Height (25'-0" maximum) | <u>22'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material | <u>SHINGLES</u> Color <u>REAL WEATHERED WOOD</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color | <u>FULLER O'BRIEN KING LEAR</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material | <u>STUCCO</u> Color <u>IVORY</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Material | Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios | <u>WOOD + CONCRETE</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Other | _____ |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

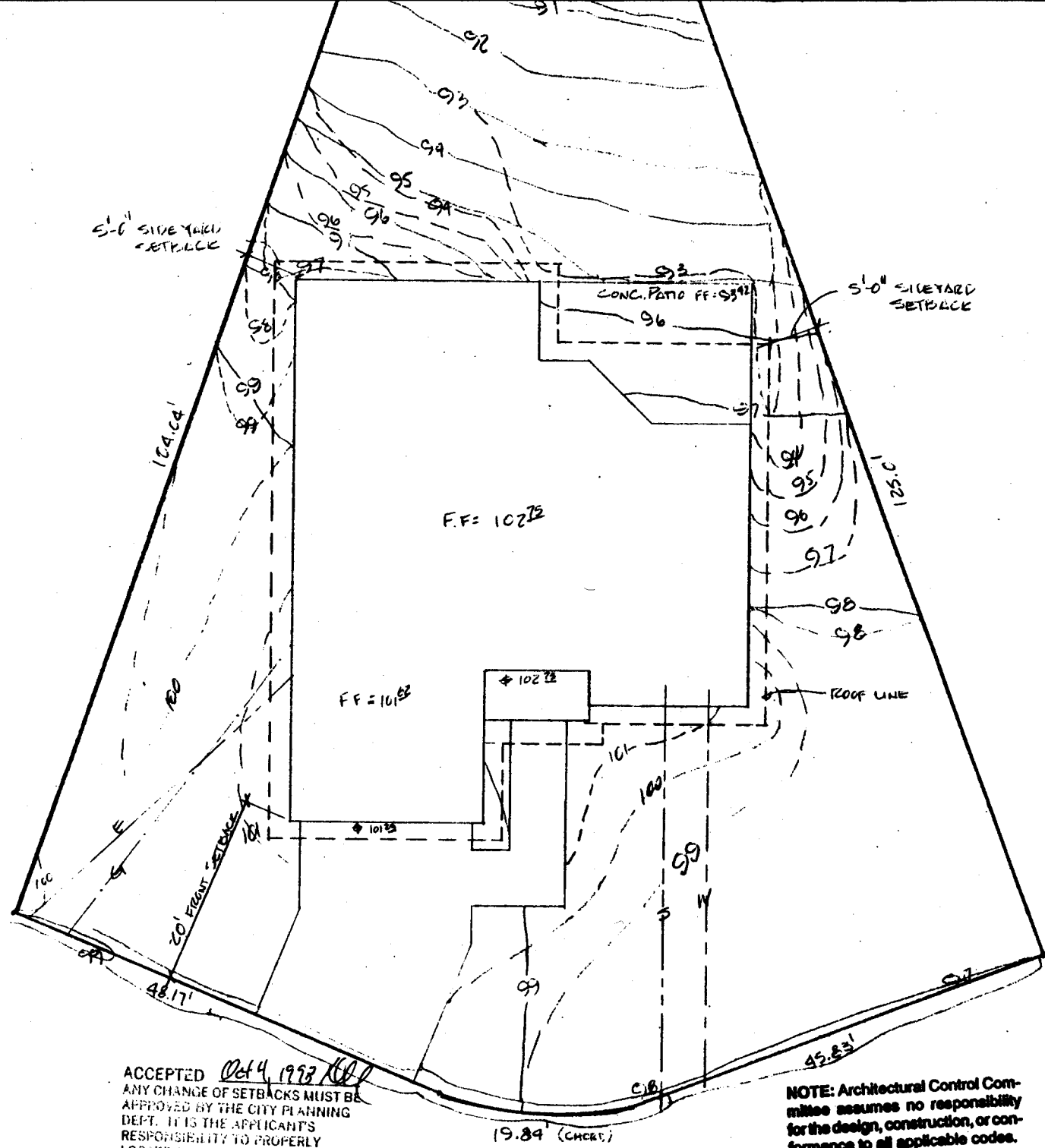
signature below, builder or owner guarantees that improvements will be constructed as shown on this form and building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee

Builder/Realtor/Homeowner

[Signature]
[Signature]

By [Signature]
 Date SEPT. 24, 1993



ACCEPTED *Oct 4, 1993*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

NOTE: Architectural Control Committee assumes no responsibility for the design, construction, or conformance to all applicable codes.

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ACCEPTED 02/4 1982
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SITE PLAN

EXISTING GRADE
 FINISH GRADE
 PROPERTY LINE

NOTE: Architectural Control Committee assumes no responsibility for the design, construction, or conformance to all applicable codes.

APPROVED Major Control Committee
[Signature]

