

DATE SUBMITTED: 3-3-93

PERMIT NO. 44325 ✓

FEE \$ 500

# PLANNING CLEARANCE

GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

BLDG ADDRESS 408 Prospectors Point

SQ. FT. OF BLDG: 1466

SUBDIVISION Ridges

SQ. FT. OF LOT: 6500 app

FILING # 6 BLK # 9 LOT # 10A

NO. OF FAMILY UNITS: 1

TAX SCHEDULE # 2945-174-29-010

NO. OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION: 0

OWNER Janed L Nelson

USE OF EXISTING BUILDINGS: \_\_\_\_\_

ADDRESS 476 N 23rd

DESCRIPTION OF WORK AND INTENDED USE: New house

TELEPHONE: 242-3817

REQUIRED: Two plot plans showing parking, landscaping, setbacks to all property lines, and all streets which abut the parcel.

### FOR OFFICE USE ONLY

ZONE PR

FLOODPLAIN: YES \_\_\_\_\_ NO \_\_\_\_\_

SETBACKS: FRONT 20

GEOLOGIC HAZARD: YES \_\_\_\_\_ NO \_\_\_\_\_

SIDE Ø REAR 10

CENSUS TRACT: 14 TRAFFIC ZONE: \_\_\_\_\_

MAXIMUM HEIGHT 25

PARKING REQ'MT \_\_\_\_\_

LANDSCAPING/SCREENING REQUIRED: \_\_\_\_\_

SPECIAL CONDITIONS: \_\_\_\_\_

As per Ridges Covenants  
SIGN OFF By ACC completed

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a Certificate of Occupancy is issued by the Building Department (Section 307, Uniform Building Code).

Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition shall be required.

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. Failure to comply shall result in legal action.

[Signature]  
Department Approval

[Signature]  
Applicant Signature

3-3-93  
Date Approved

3-3-93  
Date

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2 D Grand Junction Zoning & Development Code)

ACCEPTED *DK* 3-3-93  
ANY CHANGE OF SETBACKS MUST BE  
APPROVED BY THE CITY PLANNING  
DEPT. IT IS THE APPLICANT'S  
RESPONSIBILITY TO PROPERLY  
LOCATE AND IDENTIFY EASEMENTS  
AND PROPERTY LINES.

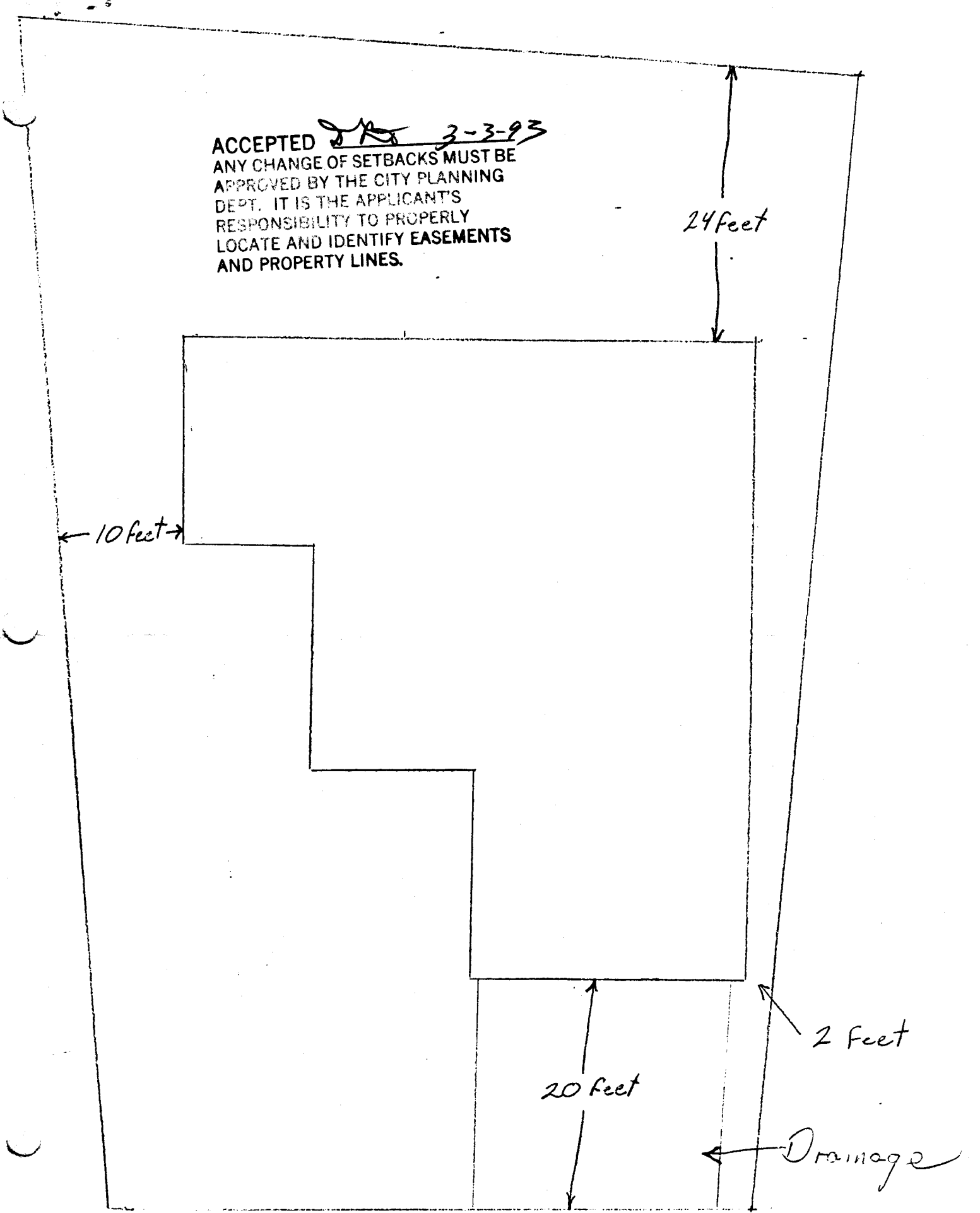
24 feet

← 10 feet →

2 Feet

20 feet

← Drainage



**408 PROSPECTORS POINT**

**OWNER:** JANET NELSON

**TELEPHONE:** 242-3817

**ADDRESS:** 476 N. 23rd STREET (current)

**LEGAL:** LOT 10A BLOCK 9 RIDGES FILING #6 408 Prospector Pt.

**HOUSE DESCRIPTION:** SINGLE STORY, SINGLE FAMILY, RANCH

**STYLE** (SEE DRAWING ON BLUE PRINT)

**EXTERIOR:** LAP SIDING PLUS BRICK TRIM HALF WAY UP ON ALL  
NORTH FACING EXTERIOR WALLS

**EXTERIOR COLORS:** LIGHT EARTH TONES (SAMPLES ENCLOSED)

**POSITION OF HOUSE ON LOT:** SEE ENCLOSED MAP

**DRAINAGE:** DRIVEWAY WILL BE SLOPED IN SUCH A MANNER AS TO  
MAKE A PATH FOR WATER TO DRAIN ACROSS FRONT OF PROPERTY  
(SEE DRAWING OF LOT)

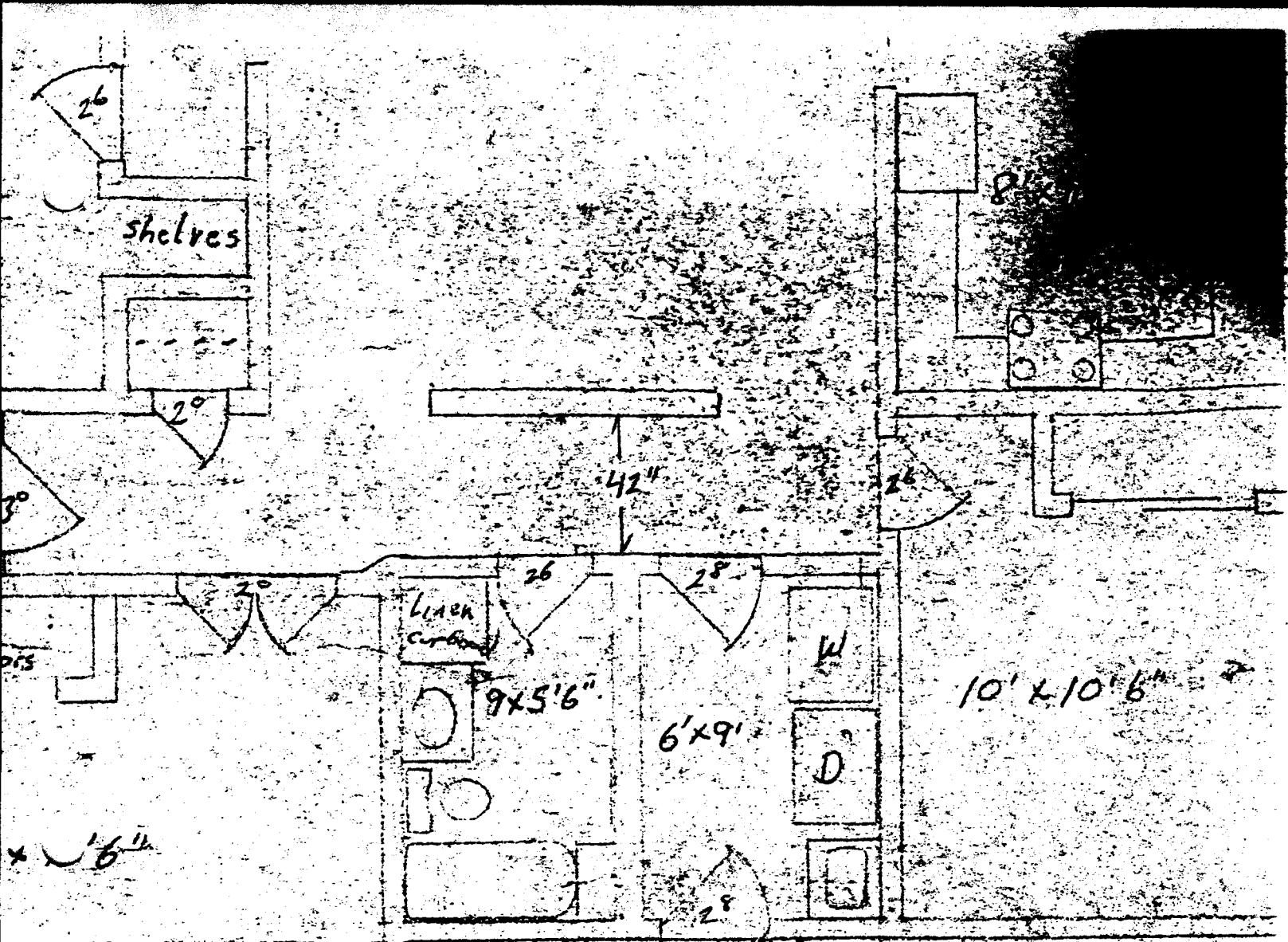
**FOUNDATION:** ENGINEERED

**LANDSCAPING:** GRASS IN FRONT LEFT NATURAL IN BACK BECAUSE  
OF LOT DROP OFF

**ENCLOSURES:**

1. TWO SETS OF PLANS
2. SITE PLAN
3. PLOT PLAN
4. SAMPLES
5. \$5.00

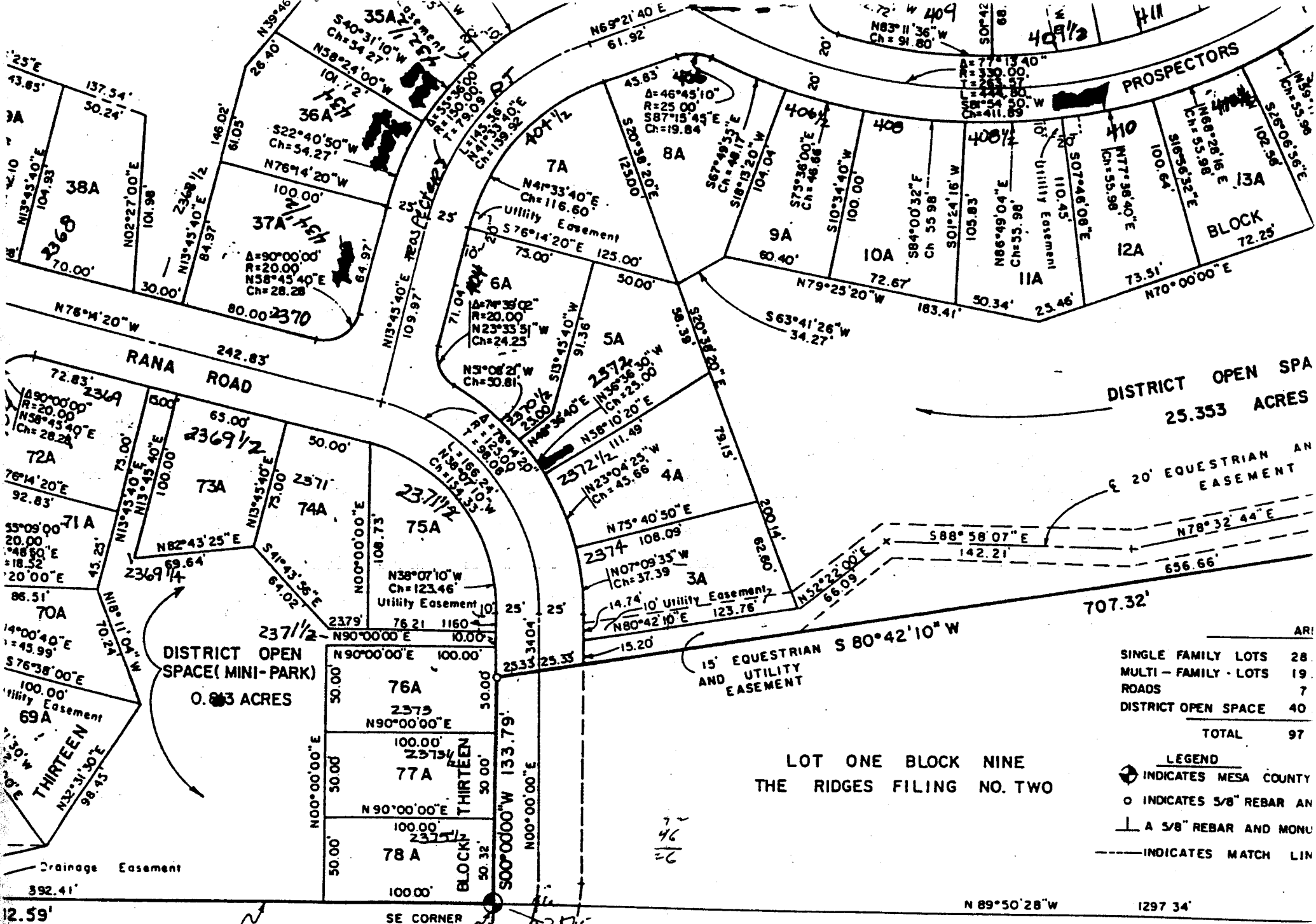
Brick - Mission Grey  
Exterior paint - cond. color  
Roofing - 3/4" shingles - cedar or cedar board



**NOTE:** Architectural Control Committee assumes no responsibility for the design, construction, or conformance to all applicable codes.

APPROVED Ridges Architectural Control Committee

*[Signature]*  
*[Signature]*



DISTRICT OPEN SPA  
25.353 ACRES

DISTRICT OPEN SPACE (MINI-PARK)  
0.833 ACRES

LOT ONE BLOCK NINE  
THE RIDGES FILING NO. TWO

	ARI
SINGLE FAMILY LOTS	28
MULTI-FAMILY LOTS	19
ROADS	7
DISTRICT OPEN SPACE	40
<b>TOTAL</b>	<b>97</b>

- LEGEND**
- ⊕ INDICATES MESA COUNTY
  - INDICATES 5/8" REBAR AND MONU
  - ┆ INDICATES MATCH LIN

U.M. BASIS OF BEARINGS

RID DRIVE

*Please note address*

SE CORNER  
SW 1/4 SE 1/4  
SECTION 17  
POINT OF BEGINNING

7  
46  
=

**APPROVAL FOR BUILDING PERMIT**  
**Ridges Architectural Control Committee (ACCO)**

Job No. 93-2  
 Builder or Homeowner Janet Nelson  
 Ridges Filing No. 6  
 Block 9 Lot 10A  
 Pages Submitted one  
 Date Submitted 2-27-93

408 Prosperita Pt.

A - Approved  
 NA - Not Approved

**SITE PLAN**

- |                          |                          |   |                                    |
|--------------------------|--------------------------|---|------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum)                  | _____                              |
| <input type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum)                   | _____                              |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) | <u>"D" lot line</u>                |
| <input type="checkbox"/> | <input type="checkbox"/> | Square Footage                                  | _____                              |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks                                       | _____                              |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete)                  | <u>sloped</u>                      |
| <input type="checkbox"/> | <input type="checkbox"/> | Drainage  | <u>sloped toward front</u>         |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping                                     | <u>grass in front natural back</u> |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

**EXTERIOR ELEVATIONS**

- |                          |                          |                        |   |
|--------------------------|--------------------------|------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'0" maximum) | _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material        | <u>asphalt</u> Color <u>perol brown/cedar blend</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color           | _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material      | <u>lap</u> Color _____                              |
|                          |                          | Material               | <u>brnd trim</u> Color _____                        |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color          | _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color          | _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony                | _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios      | _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Other                  | _____   |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

**APPROVED SUBJECT TO:**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee

By [Signature]  
 By [Signature]

Builder/Realtor/Homeowner

By \_\_\_\_\_  
 Date \_\_\_\_\_