

DATE SUBMITTED 11-12-93

BUILDING PERMIT NO. 46968

FEE \$ 500

**PLANNING CLEARANCE**  
(Single Family Residential and Accessory Structures)  
Grand Junction Department of Community Development

BLDG ADDRESS 432 PROSPECTORS FT

SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2575

SUBDIVISION THE RIDGES

SQ. FT. OF EXISTING BLDG(S) N/A

FILING 6 BLK 9 LOT 34A

NO. OF FAMILY UNITS ONE

TAX SCHEDULE NO. 2945 174 34 034

NO. OF BLDGS ON PARCEL BEFORE THIS CONSTRUCTION NONE

OWNER PAM & JUSTIN TATE

ADDRESS 560 28<sup>3</sup>/<sub>4</sub> RD #3, G.J.

TELEPHONE 241-4254

DESCRIPTION OF WORK AND INTENDED USE:

SINGLE FAMILY RESIDENCE

**REQUIRED:** Two plot plans showing parking, setbacks to all property lines, and all rights-of-way which abut the parcel.

ZONE PR4

DESIGNATED FLOODPLAIN: YES \_\_\_\_\_ NO

20' SETBACKS: Front 20' from property line or from center of ROW, whichever is greater

GEOLOGIC HAZARD: YES \_\_\_\_\_ NO \_\_\_\_\_

0-10 or 5-5 Side 0/10' from property line

CENSUS TRACT 14 TRAFFIC ZONE 96

10' Rear 10' from property line

PARKING REQ'MT \_\_\_\_\_

25 Maximum Height \_\_\_\_\_

SPECIAL CONDITIONS: \_\_\_\_\_

Maximum coverage of lot by structures \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a final inspection has been completed by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. I understand that failure to comply shall result in legal action.

Department Approval [Signature]

Applicant Signature [Signature]

Date Approved 11-12-93

Date 28 OCT 93

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning)

(Yellow: Customer)

(Pink: Building Department)

**► APPROVAL FOR BUILDING PERMIT ◀**  
**Ridges Architectural Control Committee (ACCO)**

Job No. 93-34  
 Builder or Homeowner Construction Unlimited / Tate  
 Ridges Filing No. 6  
 Block 9 Lot 34 A  
 Pages Submitted 11  
 Date Submitted 9/9/93 & 11/3/93

A - Approved  
 NA - Not Approved

432 Prospect Point

**SITE PLAN**

- | A                                   | NA                       |  |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) <u>20' minimum</u>                    |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) <u>10' from corner of covered deck</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) <u>12'-8"</u>        |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Square Footage <u>1649 main 926 lower</u>                            |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Sidewalks <u>concrete 4"</u>   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) <u>concrete 4"</u>                    |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Drainage <u>west/east</u>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Landscaping <u>by owner</u>  |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

**EXTERIOR ELEVATIONS**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'0" maximum) <u>20' 6"</u>                                     |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material <u>Asphalt G.S. Architect 80</u> Color <u>light gray</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color <u>concrete (tan)</u>                                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material <u>stucco</u> Color <u>tan</u>                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Other _____  |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

**APPROVED SUBJECT TO:**

Covered porch permitted since outside rear corner will be within limits of 10' setback.

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

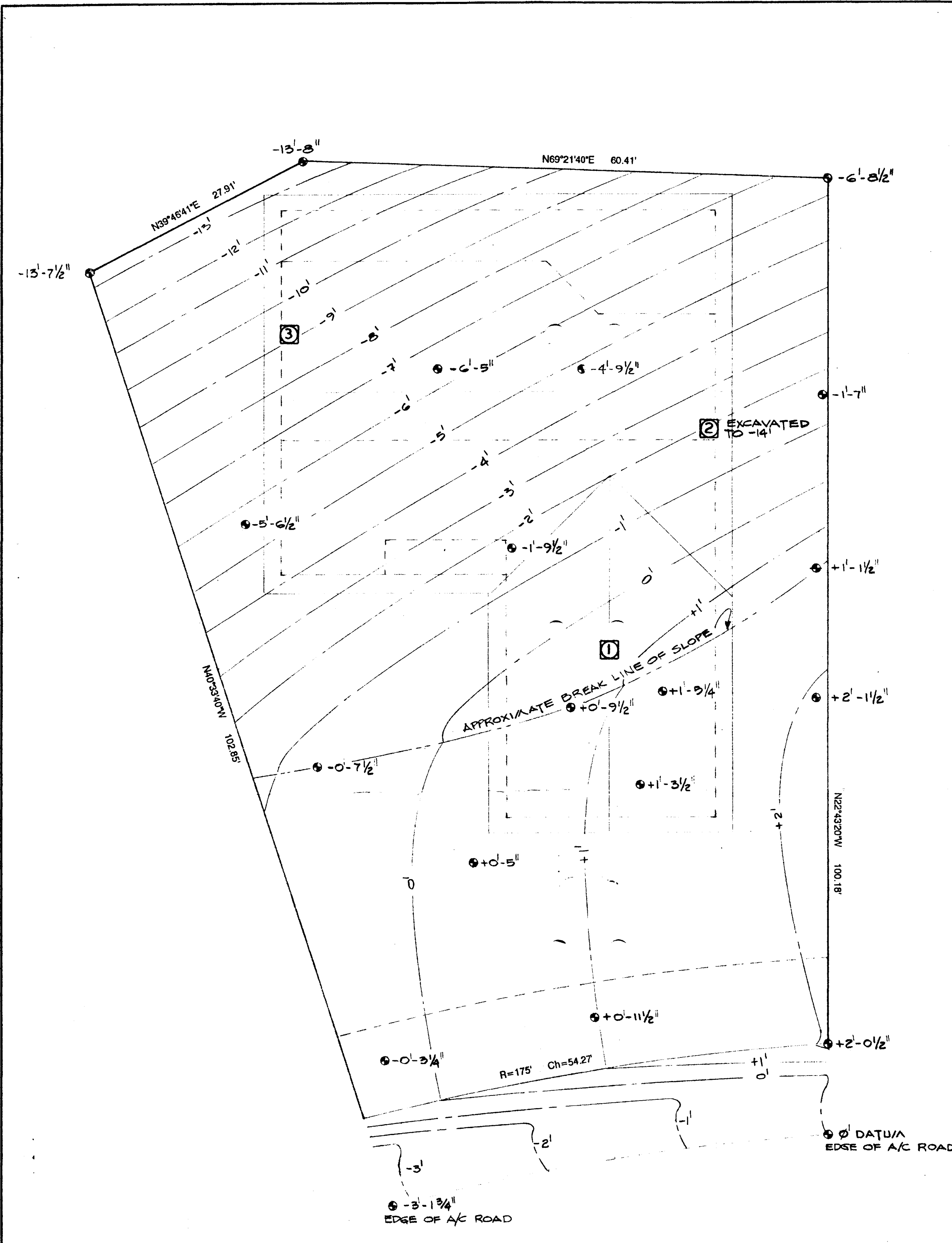
By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee

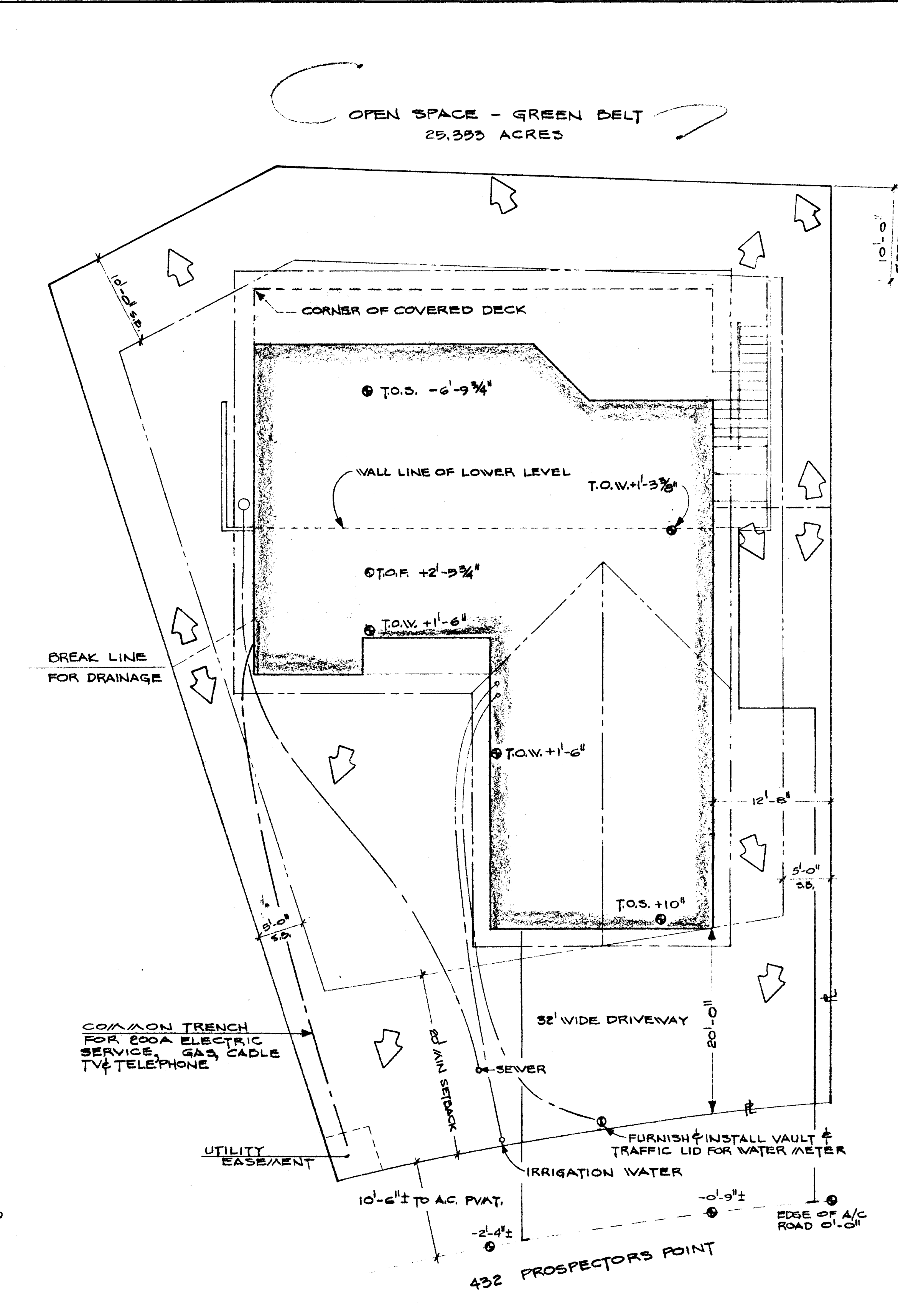
Builder/Realtor/Homeowner

By [Signature]  
John Burrows  
11-3-93

By \_\_\_\_\_  
 Date \_\_\_\_\_



APPROXIMATE EXISTING GRADES



PROPOSED PLOT PLAN

**NOTES: UNLESS OTHERWISE SPECIFIED**

- The information contained in these drawings and specifications set or describe the minimum standards and quality that will be accepted on this project. All work shall meet or exceed the requirements of the Ridges Covenants, City of Grand Junction, UBC, UMC, UPC, NEC and any other applicable codes and ordinances.
- Verify all dimensions on the job-site. The FLOOR PLAN dimensions have priority over all other plan-view drawings, 1/2" details have priority over 1/4" drawings and 1" details have priority over all others. All dimensions are to face of studs or other framing members.
- Slope all soil away from the building perimeter for a minimum of ten feet or slope soil to the property line if it is less than ten feet from the building perimeter.
- All trades are encouraged to submit details and costs associated with value or energy saving materials and/or methods of construction.
- Nothing contained in the drawings and/or specifications shall be considered proprietary, however, substitutions for "or equal" materials and/or methods must be submitted in duplicate and approved by the owner before their use will be allowed.
- Soils test holes are numbered in a circle and were excavated to a depth of 5' minimum below the bottom of the footings which were anticipated to be thirty (30") inches below finish grade.

**INDEX OF DRAWINGS:**

- PLOT PLAN
- FLOOR PLAN
- ELEVATIONS & ROOF PLAN
- FOUNDATION PLAN & DETAILS
- FLOOR FRAMING PLAN
- STRUCTURAL & ARCHITECTURAL DETAILS
- MILLWORK & INTERIOR DETAILS
- DOOR, WINDOW & FINISH SCHEDULE
- ELECTRICAL PLAN
- HVAC PLAN (Hot Water Heat - Swamp Cooler)
- 61 by L.J. LINDAUER, INC.

**GENERAL DESCRIPTION:**

Main Floor	= 1649 Sq/Ft	Type V	Wood Frame
Lower Level	= 926 Sq/Ft	Type V	Wood Frame
Total Interior	= 2575 Sq/Ft		
Garage	= 668 Sq/Ft	Type V	Wood Frame
Patio (399 x 2)	= 798 Sq/Ft		



A PROPOSED RESIDENCE FOR:  
PAM & JUSTIN TATE

SCALE: 1/8" = 1'-0"	APPROVED BY:	DRAWN BY: CW
DATE: 15 Sept 93		REVISION: 11/11/93
DESIGNED BY: Construction Unlimited, Inc. 147 Bruster Road, Grand Junction, CO 81503		
JOB LOCATION: 432 Prospectors Point Grand Junction, CO 81503		DRAWING NUMBER 2575-50

Job No 93211

SHEET 1 of 11

RP 11/16/93  
Revised drawing to scale  
to replace drawing submitted  
on 11/5/93

FILING No. 6 }  
BLOCK No. 9 } THE RIDGES  
LOT No. 34A }  
TAX SCHEDULE: 2945 174 34 034

PLOT PLAN