

DATE SUBMITTED 10/16/93

BUILDING PERMIT NO. 46618

FEE \$ 500

**PLANNING CLEARANCE**  
(Single Family Residential and Accessory Structures)  
Grand Junction Department of Community Development

BLDG ADDRESS 404 Prospectors Point  
SUBDIVISION The Ridges  
FILING 6 BLK 9 LOT 6A  
TAX SCHEDULE NO. 2945-174-29-006  
OWNER John and Vera Cain  
ADDRESS 3216 E. Hall #D, Clifton, CO  
TELEPHONE 434-1185

SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1505'  
SQ. FT. OF EXISTING BLDG(S) None  
NO. OF FAMILY UNITS One  
NO. OF BLDGS ON PARCEL BEFORE THIS CONSTRUCTION None  
DESCRIPTION OF WORK AND INTENDED USE:  
Construct new residence - single family

**REQUIRED:** Two plot plans showing parking, setbacks to all property lines, and all rights-of-way which abut the parcel.

ZONE PR  
SETBACKS: Front 20 from property line or  
from center of ROW, whichever is greater  
Side as per comments from property line  
Rear as per comments from property line

DESIGNATED FLOODPLAIN: YES NO   
GEOLOGIC HAZARD: YES NO   
CENSUS TRACT 157 TRAFFIC ZONE 96  
PARKING REQ'MT 2  
SPECIAL CONDITIONS: \_\_\_\_\_

Maximum Height \_\_\_\_\_  
Maximum coverage of lot by structures \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a final inspection has been completed by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. I understand that failure to comply shall result in legal action.

Department Approval [Signature] Applicant Signature [Signature]  
Date Approved 10/16/93 Date \_\_\_\_\_

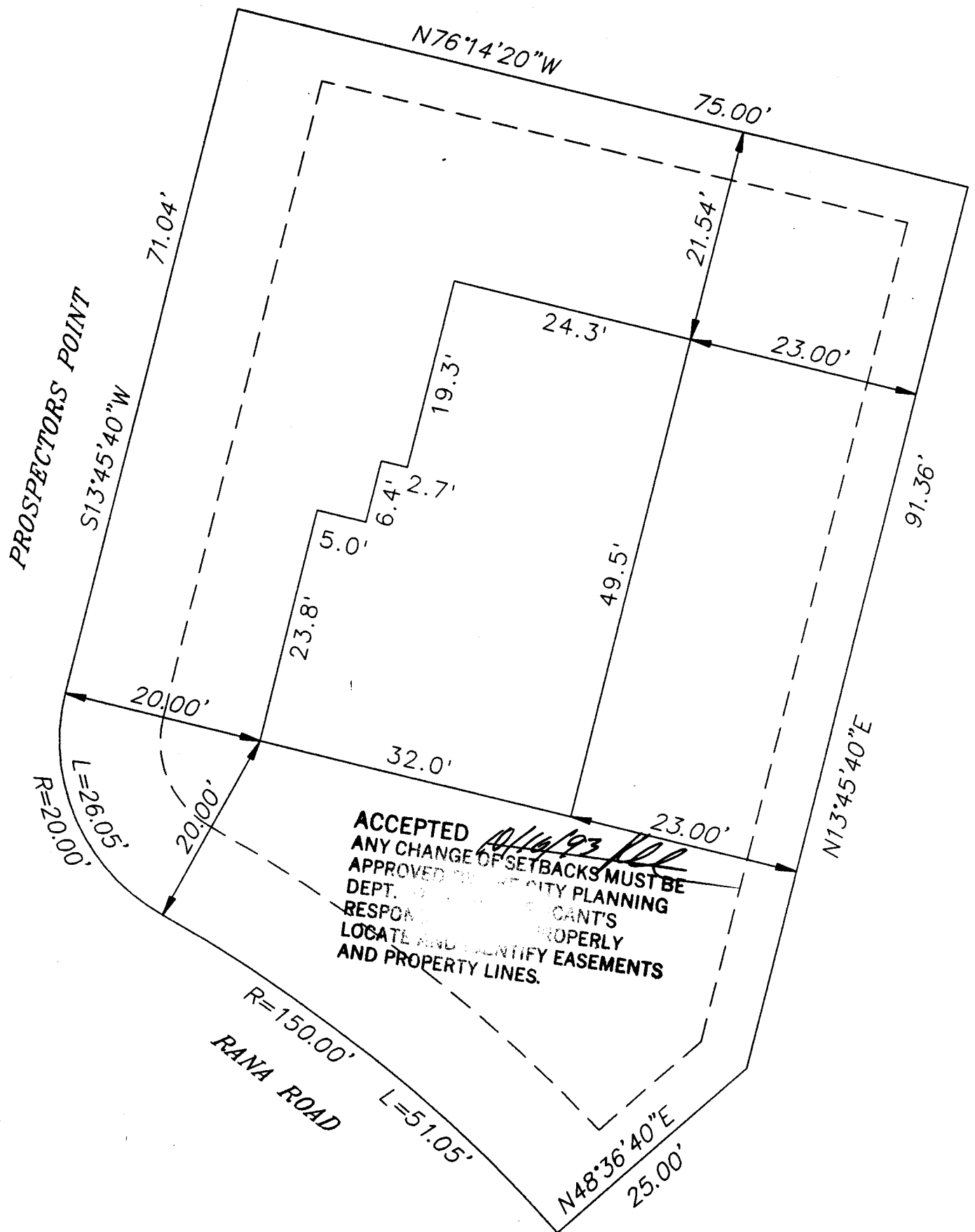
**VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)**

(White: Planning)

(Yellow: Customer)

(Pink: Building Department)

LOT 6A, BLOCK 9,  
THE RIDGES FILING 6



**► APPROVAL FOR BUILDING PERMIT ◀**  
**Ridges Architectural Control Committee (ACCO)**

Job No. 93-37  
 Builder or Homeowner  
Reinier Builder / John Cain  
 Ridges Filing No. 6  
 Block 9 Lot 6A  
 Pages Submitted 5  
 Date Submitted 9-8-93

- Approved  
 - Not Approved

**SITE PLAN**

- | A                                   | NA                       |  |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) <u>21.5</u>                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) <u>20</u>                        |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) <u>20 / 23</u> |
| <input type="checkbox"/>            | <input type="checkbox"/> | Square Footage <u>1505</u>                                     |
| <input type="checkbox"/>            | <input type="checkbox"/> | Sidewalks _____  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Driveway (asphalt or concrete) _____                           |
| <input type="checkbox"/>            | <input type="checkbox"/> | Drainage _____   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Landscaping _____  |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

**EXTERIOR ELEVATIONS**

- |                          |                          |                                     |
|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'0" maximum) _____        |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material _____ Color _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color _____                  |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material _____ Color _____ |
|                          |                          | Material _____ Color _____          |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color _____                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony _____                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios _____             |
| <input type="checkbox"/> | <input type="checkbox"/> | Other _____                         |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

**APPROVED SUBJECT TO:**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

My signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee

By [Signature]  
 By [Signature]

Builder/Realtor/Homeowner

By \_\_\_\_\_  
 Date \_\_\_\_\_