

DATE SUBMITTED: 8/6/93

PERMIT NO. 45996

FEE \$ 5.00

# PLANNING CLEARANCE

GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

BLDG ADDRESS 411 1/2 Prospectors Point

SQ. FT. OF BLDG: 1227A

SUBDIVISION Ridges

SQ. FT. OF LOT: 5500 SF (approx)

FILING # 6 BLK # 30 LOT # 12A

NO. OF FAMILY UNITS: 1

TAX SCHEDULE # \_\_\_\_\_

NO. OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION: 0

OWNER Helen E. Boathe

USE OF EXISTING BUILDINGS: \_\_\_\_\_

ADDRESS 461 Perra Ch. Pk

DESCRIPTION OF WORK AND INTENDED USE:

TELEPHONE: 434-5109

Build new home

REQUIRED: Two plot plans showing parking, landscaping, setbacks to all property lines, and all streets which abut the parcel.

\*\*\*\*\*

### FOR OFFICE USE ONLY

ZONE PR (Ridges A-Lot.)

FLOODPLAIN: YES \_\_\_\_\_ NO X

SETBACKS: FRONT 20' from property

GEOLOGIC HAZARD: YES \_\_\_\_\_ NO X

SIDE \_\_\_\_\_ REAR \_\_\_\_\_

CENSUS TRACT: 14 TRAFFIC ZONE: 91

MAXIMUM HEIGHT 25'

PARKING REQ'MT \_\_\_\_\_

LANDSCAPING/SCREENING REQUIRED: \_\_\_\_\_

SPECIAL CONDITIONS:

Approved by Ridge ACC

\*\*\*\*\*

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a Certificate of Occupancy is issued by the Building Department (Section 307, Uniform Building Code).

Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition shall be required.

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. Failure to comply shall result in legal action.

[Signature]  
Department Approval  
8/6/93  
Date Approved

Helen E. Boathe  
Applicant Signature  
Aug 5, 1993  
Date

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2 D Grand Junction Zoning & Development Code)

*A. Barrett*  
ACCEPTED  
ANY CHANGE OF SETBACKS MUST BE  
APPROVED BY THE CITY PLANNING  
DEPT. IT IS THE APPLICANT'S  
RESPONSIBILITY TO PROPERLY  
LOCATE AND IDENTIFY EASEMENTS  
AND PROPERTY LINES.

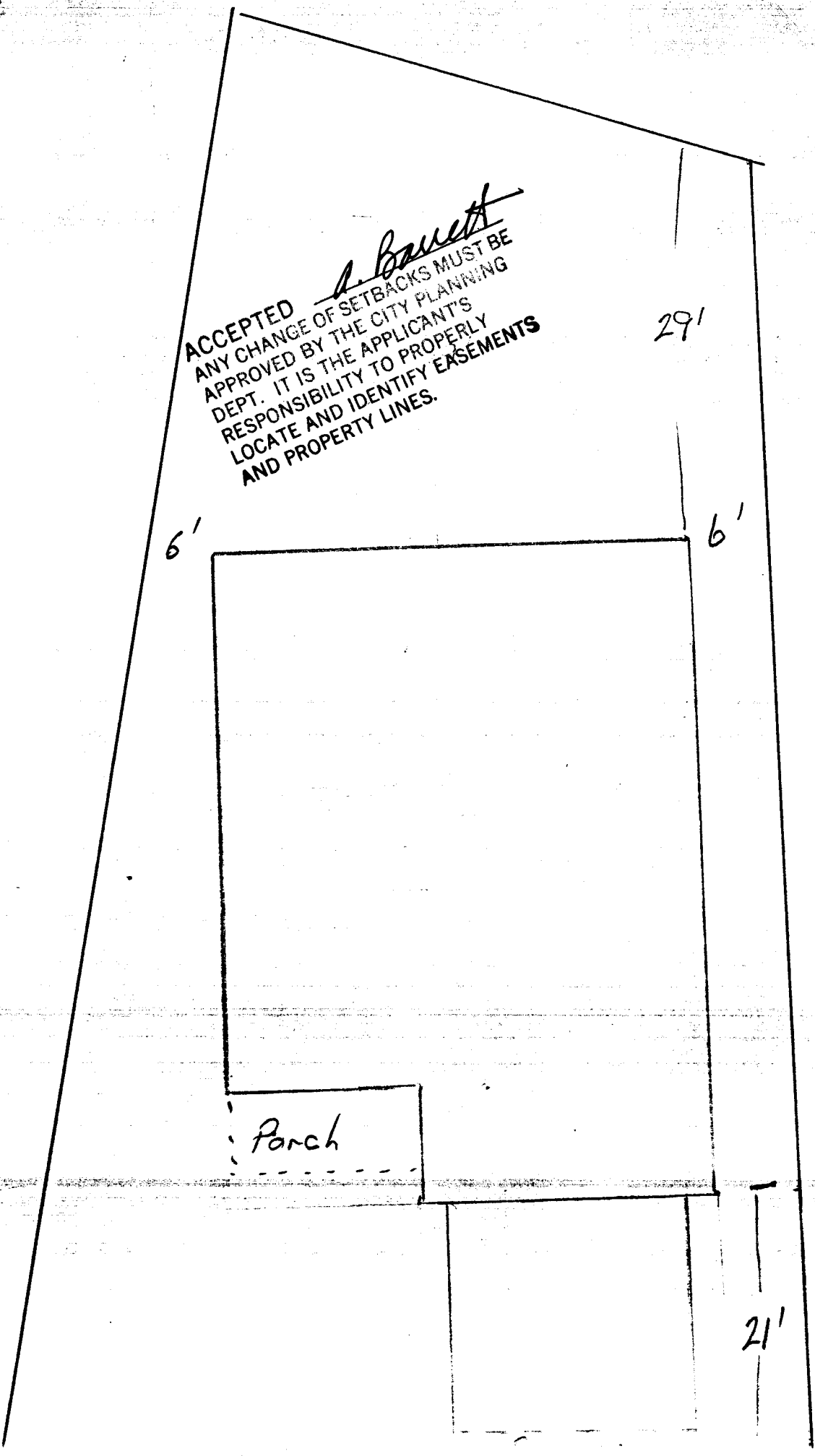
29'

6'

6'

Porch

21'



**► APPROVAL FOR BUILDING PERMIT ◀**  
**Ridges Architectural Control Committee (ACCO)**

Job No. 93-30  
 Builder or Homeowner Heles Booth  
 Ridges Filing No. 6  
 Block 30 Lot 12 A  
 Pages Submitted 2  
 Date Submitted 8-1-93

A - Approved  
 NA - Not Approved

**SITE PLAN**

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) - <u>21'</u>                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) <u>32'</u>                          |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) <u>'A' lot 6'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Square Footage <u>1227</u>  |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks <u>4" concrete</u>                                      |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) <u>4" concrete</u>                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Drainage _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping _____   |

*434-5109  
 41 1/2 Prosperi Point*

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

**EXTERIOR ELEVATIONS**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'0" maximum) <u>21'</u>                                      |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material <u>Asphalt</u> Color <u>Tan</u>                        |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color <u>white</u>  |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material <u>cottage lap</u> Color <u>Chomeis "creno cola"</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color <u>Tan</u> <u>1/2 brick up front</u>                     |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Other _____  |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

**APPROVED SUBJECT TO:**

**APPROVED** Ridges Architectural  
Control Committee

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee  
 By [Signature] Builder/Realtor/Homeowner  
 By [Signature] By  
 By [Signature] Date