

DATE SUBMITTED 3/8/94

BUILDING PERMIT NO. 47864
FEE \$ 500

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Department of Community Development

BLDG ADDRESS 1351 Pinjon Ave
N.W. SMITH Sub
SUBDIVISION Treichler Addition

SQ. FT. OF PROPOSED BLDG(S)/ADDITION 384

FILING — BLK 1 LOT 3

SQ. FT. OF EXISTING BLDG(S) House 782 Shed 144

TAX SCHEDULE NO. 2945/2204008

NO. OF FAMILY UNITS 1

OWNER Michael + Trudy Clark

NO. OF BLDGS ON PARCEL BEFORE THIS CONSTRUCTION 2

ADDRESS 1351 Pinjon

DESCRIPTION OF WORK AND INTENDED USE:
to store Race Car new garage

TELEPHONE 303 249-0658
Busn. # 242-4261

REQUIRED: Two plot plans showing parking, setbacks to all property lines, and all rights-of-way which abut the parcel.

ZONE RSF-8

DESIGNATED FLOODPLAIN: YES — NO X

SETBACKS: Front 20' from property line or — from center of ROW, whichever is greater

GEOLOGIC HAZARD: YES — NO —

Side 3' from property line

CENSUS TRACT 6 TRAFFIC ZONE 28

Rear 3' from property line

PARKING REQ'MT —

Maximum Height 32'

SPECIAL CONDITIONS: —

Maximum coverage of lot by structures 45%

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a final inspection has been completed by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. I understand that failure to comply shall result in legal action.

Department Approval RS Edwards

Applicant Signature Michael E Clark

Date Approved 3/8/94

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VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

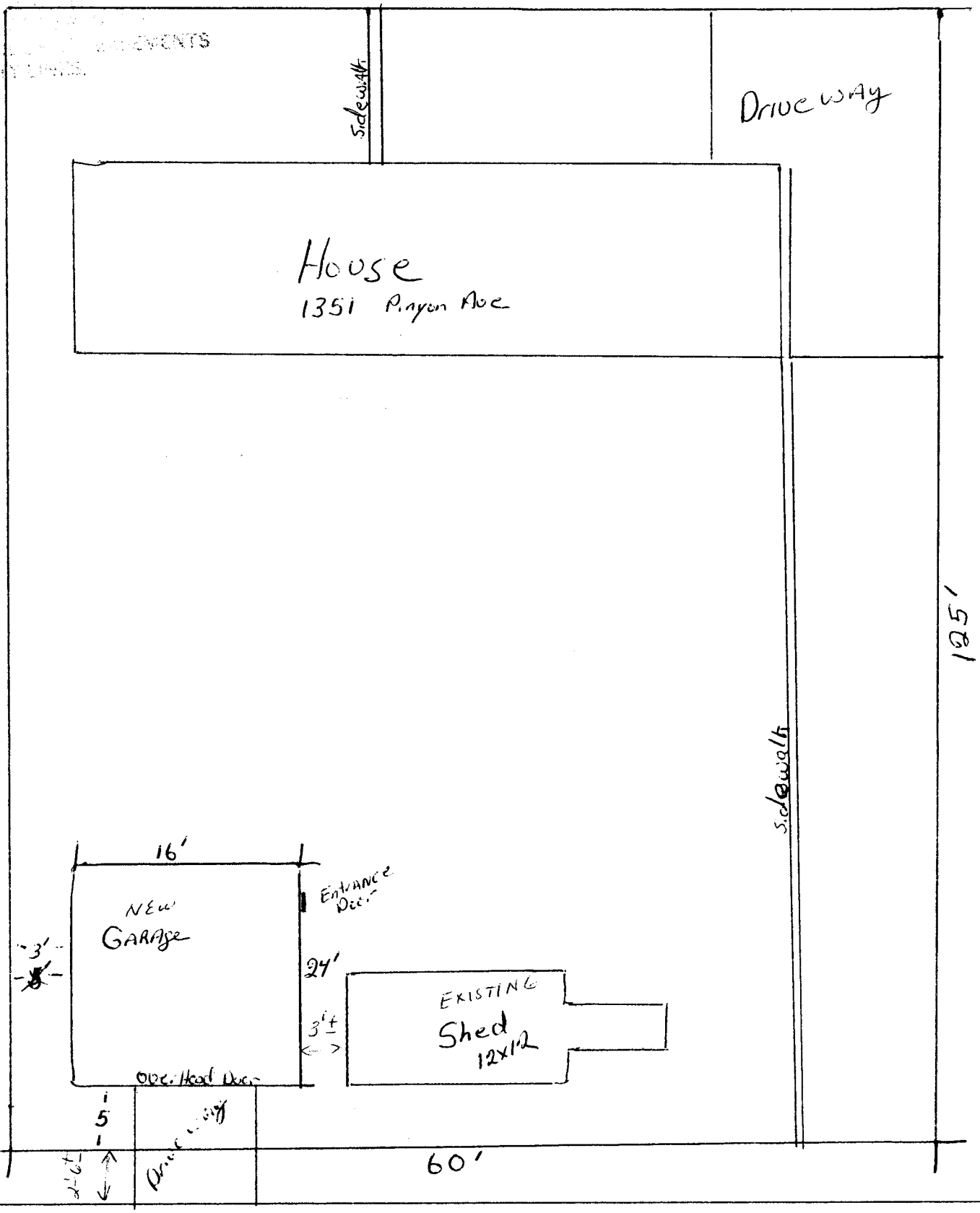
(White: Planning)

(Yellow: Customer)

(Pink: Building Department)

Pinyon Ave
Stedwards

APPROXIMATE
EXISTING
IMPROVEMENTS
AND PROPERTY LINES.



15
70-07-15-02

125'

Alley