

FEE \$ 10.00

BLDG PERMIT NO. 50713

TCP - \$500.00

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Community Development Department



THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 370 Plateau TAX SCHEDULE NO. 2945-201-09-040
 SUBDIVISION Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1450
 FILING 3 BLK 17 LOT 12B SQ. FT. OF EXISTING BLDG(S) N/A
 (1) OWNER Alan C. Rogers NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 2086 Hodessa Ct.
 (1) TELEPHONE (303) 256-0119 NO. OF BLDGS ON PARCEL
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (2) APPLICANT Same USE OF EXISTING BLDGS N/A
 (2) ADDRESS _____ DESCRIPTION OF WORK AND INTENDED USE: _____
 (2) TELEPHONE _____ Private Residence S/F

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR-4 Maximum coverage of lot by structures _____
 SETBACKS: Front 20' from property line (PL) or _____
 _____ from center of ROW, whichever is greater Parking Req'mt 2 car garage + 2 paved
 Side 10' from PL Rear 10' from PL spaces
 Special Conditions _____
 Maximum Height 25' CENSUS TRACT 14 TRAFFIC ZONE 96

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Alan C. Rogers Date 12-16-94
 Department Approval Kathy Poston Date 12/16/94

Additional water and/or sewer tap fee(s) are required: YES NO _____ W/O No. 8010 - Sewer S/F
 Utility Accounting Millie Fowler Date 12-16-94

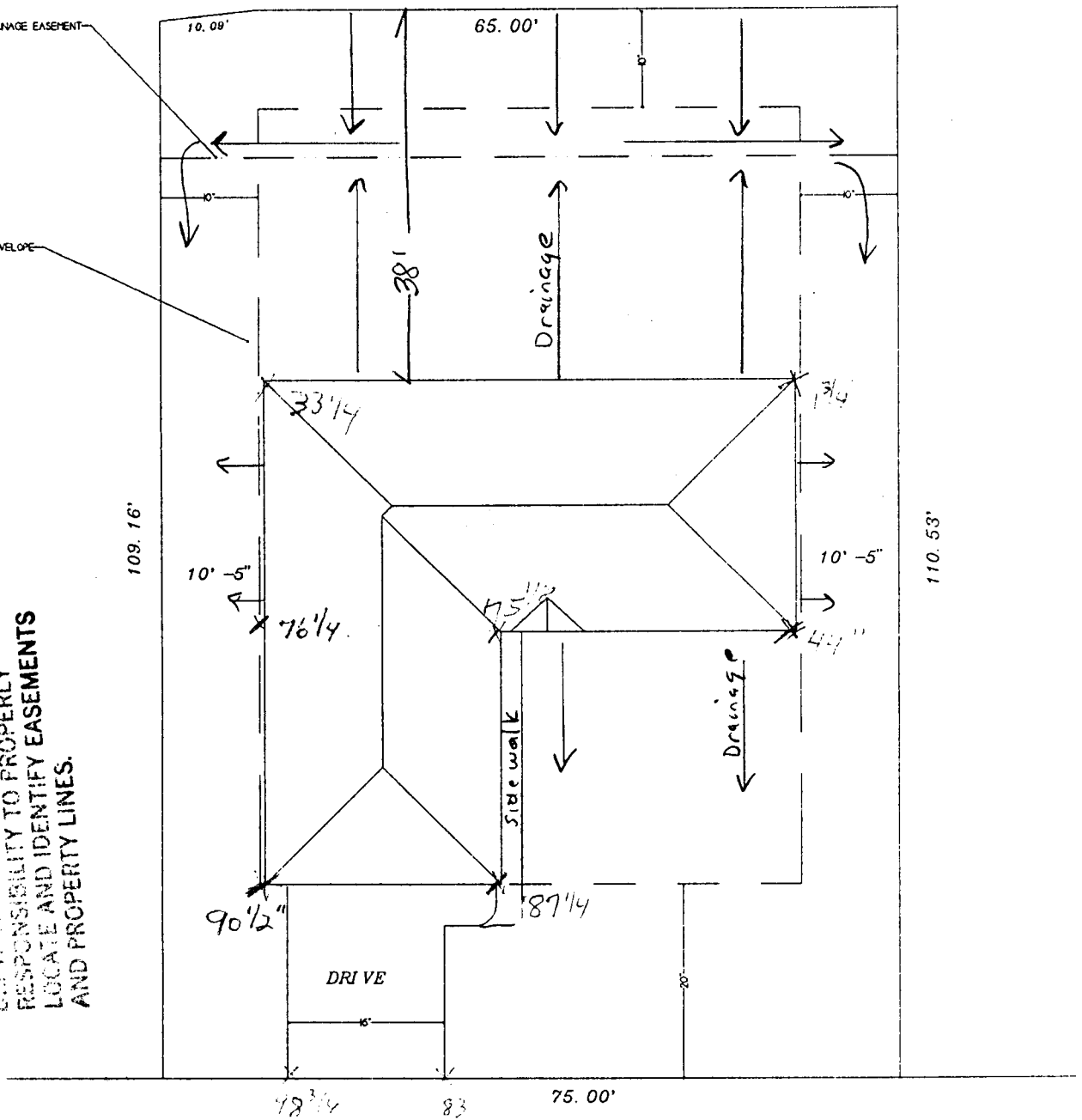
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

5' UTILITY, IRRIGATION & DRAINAGE EASEMENT

BUILDING SETBACK ENVELOPE

ACCEPTED 12/16/94
ANY CHANGE OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPT. IT IS THE APPLICANT'S
RESPONSIBILITY TO PROPERLY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES.



PLATEAU DRIVE

LOT 12B
BLOCK 17
370 PLATEAU DRIVE



SETBACKS:
REAR: 10'
SIDE: 10'
FRONT: 20'

Note - Five Foot irrigation easement
on all lot lines
all measurements are to eaves

► APPROVAL FOR BUILDING PERMIT ◄
Ridges Architectural Control Committee (ACCO)

Job No. 370 Pletewa Dr.
 Builder or Homeowner P13 Construction (Pat Bremen)
 Ridges Filing No. 3
 Block 17 Lot 12 B
 Pages Submitted Alan C. Rogers
 Date Submitted 10-13-94
 Owner Alan C Rogers → 256-0119

A - Approved
NA - Not Approved

SITE PLAN

<input type="checkbox"/>	<input type="checkbox"/>	Front setback (20'-0" minimum)	<u>20'</u>
<input type="checkbox"/>	<input type="checkbox"/>	Rear setback (10'-0" minimum)	20' <u>30'</u>
<input type="checkbox"/>	<input type="checkbox"/>	Side setbacks (10'-0" minimum "B" and "C" lots)	<u>10' 5"</u>
<input type="checkbox"/>	<input type="checkbox"/>	Square Footage	1450 <u>1450</u>
<input type="checkbox"/>	<input type="checkbox"/>	Sidewalks	<u>Concrete</u>
<input type="checkbox"/>	<input type="checkbox"/>	Driveway (asphalt or concrete)	<u>Concrete</u>
<input type="checkbox"/>	<input type="checkbox"/>	Drainage	<u>See Plot Plan</u>
<input type="checkbox"/>	<input type="checkbox"/>	Landscaping	<u>LATER</u>

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

EXTERIOR ELEVATIONS

<input type="checkbox"/>	<input type="checkbox"/>	Height (25'-0" maximum)	<u>See Elevation</u>	
<input type="checkbox"/>	<input type="checkbox"/>	Roof - Material	<u>Asphalt</u>	Color <u>Driftwood</u>
<input type="checkbox"/>	<input type="checkbox"/>	Trim - Color	<u>Green or Brown - see sample</u>	<u>White / Landscape</u>
<input type="checkbox"/>	<input type="checkbox"/>	Siding - Material	<u>Masonry color lock</u>	Color <u>White - Coastal Turq</u>
<input type="checkbox"/>	<input type="checkbox"/>	Material		Color <u>Brown</u>
<input type="checkbox"/>	<input type="checkbox"/>	Brick - Color	<u>N/A</u>	
<input type="checkbox"/>	<input type="checkbox"/>	Stone - Color	<u>N/A</u>	
<input type="checkbox"/>	<input type="checkbox"/>	Balcony	<u>N/A</u>	
<input type="checkbox"/>	<input type="checkbox"/>	Porches or patios	<u>Front concrete</u>	
<input type="checkbox"/>	<input type="checkbox"/>	Other		

NOTE: ACCO makes no responsibility for the design, construction, or performance to all applicable codes.

NOTE: All exposed flashing and metal shall be painted and blend into adjacent material.

APPROVED SUBJECT TO:

Change hip to gable roof on plan.
5/12 to 6/12 pitch

APPROVED Ridges Architectural Control Committee
(Signature)

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.
NOTE: ACCO makes no judgement on foundation design.

signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee
By *(Signature)*

Builder/Realtor/Homeowner
By _____
Date _____