

FEE \$ 500

BLDG PERMIT NO. 48647

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Grand Junction Community Development Department

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 425 Pleasant Hollow TAX SCHEDULE NO. 2945-174-33-014
 SUBDIVISION The Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1450
 FILING 6 BLK 29 LOT 14A SQ. FT. OF EXISTING BLDG(S) N/A
 (1) OWNER BECKLEFF BUILDERS NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 316 Cedar St 81563
 (1) TELEPHONE 242-2212 NO. OF BLDGS ON PARCEL
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (2) APPLICANT Same USE OF EXISTING BLDGS N/A
 (2) ADDRESS (Randy Cook) DESCRIPTION OF WORK AND INTENDED USE:
 (2) TELEPHONE _____ New Single Family Residence

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR 4 Maximum coverage of lot by structures _____
 SETBACKS: Front 20' from property line (PL) or
45' from center of ROW, whichever is greater
 Side 0' - 10' Min - 10' between structures Parking Req'mt 2
 Rear 10' from PL Special Conditions _____
 Maximum Height 25' CENSUS TRACT 14 TRAFFIC ZONE 96

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature _____ Date 5-17-94
 Department Approval Holly Peterson Date 5/18/94

Additional water and/or sewer tap fee(s) are required: YES NO _____ W/O No. 7578 water
7579 sewer
 Utility Accounting Frank Stage Date 5-18-94

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

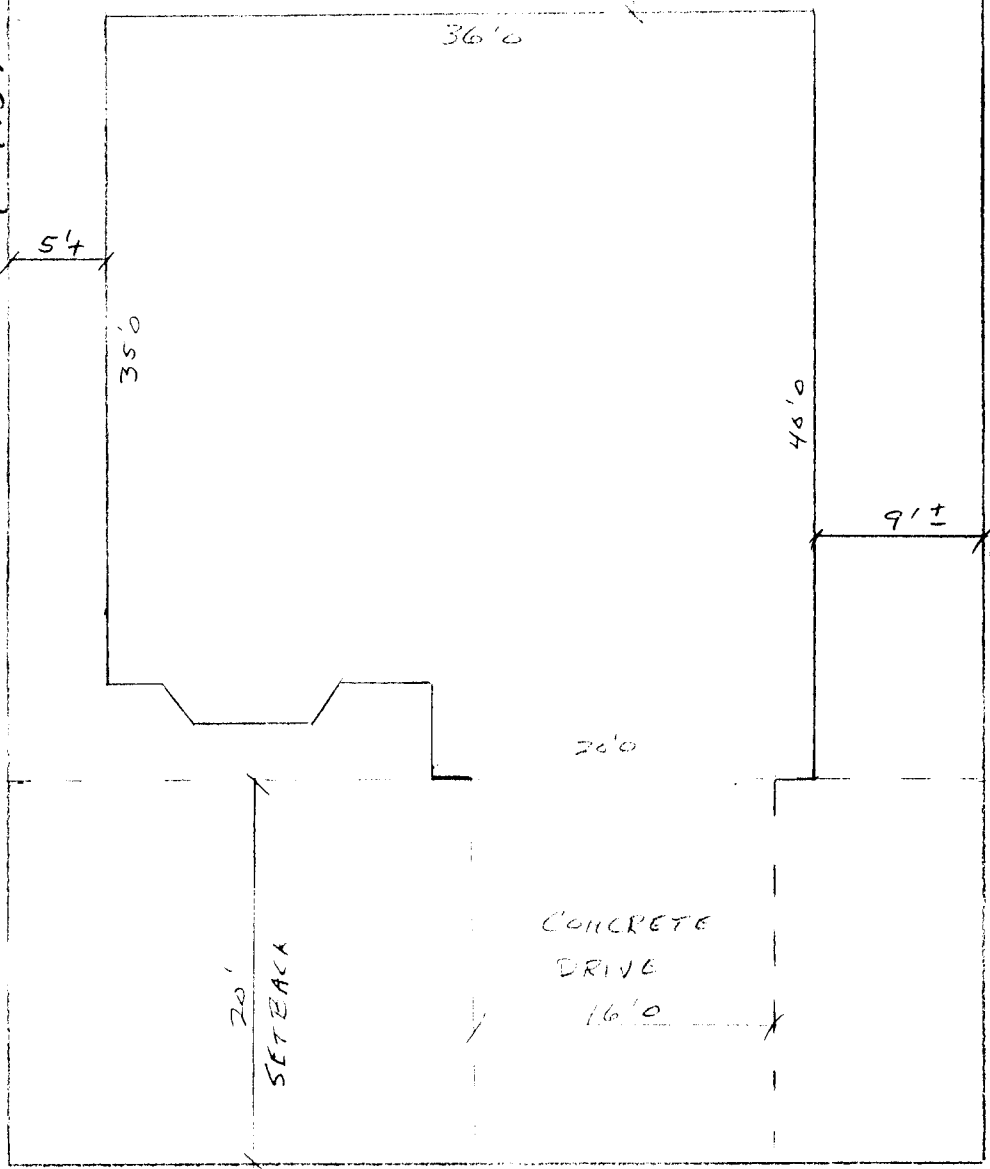
(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

55.70'

ACCEPTED KP 6/18/94
ANY CHANGES OR FEEDBACK MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

VACANT Lot

145.42'



NOTE: Architectural Control Committee assumes no responsibility for the design, construction, or performance to all applicable codes.

APPROVED Ridges Architectural Control Committee

425 PLEASANT HOLLOW CT.
LOT 14A, BLK 29, FILING 6
THE RIDGES SUBDIVISION

ALTC-8713

WARRANTY DEED

Dynamic Investments, Inc., A Colorado Corporation

a corporation duly organized and existing under and by virtue of the laws of
the State of Colorado

whose address is 391 1/2 Hillview Dr.

of the Grand Junction, and State of Colorado
*County of Mesa

for the consideration of Ten Thousand and no/100- - - - dollars.
in hand paid, hereby sells and conveys to

Bookcliff Builders, LTD., A Colorado Corporation

whose legal address is 316 Cedar St., Grand Junction, CO 81503
in the County of Mesa, and State of Colorado, the following
real property in the County of Mesa, and State of Colorado, to wit:

Lot Fourteen A (14A) in Block Twenty Nine (29) of THE RIDGES,
FILING NO. SIX, according to the official plat thereof recorded
in Plat Book No. 12 at Page 385, Official Records of Mesa
County, Colorado.

***560.

also known as street and number as Vacant Land

with all its appurtenances, and warrants the title to the same, subject to: general taxes and
assessments for 1994 and subsequent years; easements, reservations,
restrictions and dedications, if any as whon on the official plat
of said subdivision; covenants, conditions, restrictions and
easements recorded in Book 1318 at Page 22; Amendment and/or
modificaiton of said covenants recorded in Book 1796 at Page***

Signed this 22nd day of April, 19 94 .

Willis E. Stubbs,

By  Robert M. Stubbs

STATE OF COLORADO,

County of Mesa } ss

The foregoing instrument was acknowledged before me this 22nd day of April, 19 94 .
by Robert M. Stubbs as President and
Willis E. Stubbs as Secretary of
Dynamic Investments, A Colorado Corporation, a corporation.
Witness my hand and official seal. 11/12/97

"If in Deaver, insert "City and".

Notary Public

Name and Address of Person Creating Newly Created Legal Description (§ 38-35-106.5, C.R.S.)

► APPROVAL FOR BUILDING PERMIT ◀
Ridges Architectural Control Committee (ACCO)

Job No. 425 Pleasant Hollow Ct.
 Builder or Homeowner
BOOKLIFF BUILDERS, LTD.
 Ridges Filing No. 6
 Block 29 Lot 14A
 Pages Submitted _____
 Date Submitted 5-10-94

A - Approved
 NA - Not Approved

SITE PLAN

- | | | | |
|--------------------------|--------------------------|---|-----------------|
| <input type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) | <u>20'-0</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) | <u>30' +</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) | <u>5' / 9'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Square Footage | <u>1450</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) | <u>Concrete</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Drainage | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping | <u>By owner</u> |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

EXTERIOR ELEVATIONS

- | | | | |
|--------------------------|--------------------------|------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'0" maximum) | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material | <u>Fiberglass / Asphalt</u> Color <u>Desert Tan</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color | <u>5725A Rye</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material | <u>Masonite - Cottage lap</u> Color <u>Kwal 5722 Cafe Au Lait</u> |
| | | Material | <u>" - 11-11 8"OC</u> Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color | <u>N/A</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color | <u>N/A</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony | _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios | <u>ADD BAY windows UP & Down</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Other | _____ |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

Paint Roof re:to
Curvent under driveway

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee

By [Signature]
 By _____

Builder/Realtor/Homeowner

By [Signature]
 Date 5-10-94