

FEE \$ 5.00

BLDG PERMIT NO. 48949

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Community Development Department

5001-6650-01-

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 2381 Pleasant Ridge Ct. TAX SCHEDULE NO. 2945-174-33-023

SUBDIVISION Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1500 finished

FILING 6 BLK 29 LOT 23A SQ. FT. OF EXISTING BLDG(S) None

(1) OWNER Bob Witter NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 1340 N. Ave.

(1) TELEPHONE 241-2100 NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(2) APPLICANT Gerald Munfrada USE OF EXISTING BLDGS _____

(2) ADDRESS 2397 Broadway DESCRIPTION OF WORK AND INTENDED USE: _____

(2) TELEPHONE 245-4931 Build New Home 3/F

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR

Maximum coverage of lot by structures _____

SETBACKS: Front 20' from property line (PL) or _____ from center of ROW, whichever is greater

Parking Req'mt 2

Side 5' from PL Rear 10' from PL

Special Conditions _____

Maximum Height _____

CENSUS TRACT 14 TRAFFIC ZONE 96

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Gerald Munfrada Date 6/14/94

Department Approval Marcia Paly Date 6-14-94

Additional water and/or sewer tap fee(s) are required: YES NO _____ W/O No. 7646

Utility Accounting Mellie Fowler Date 6-14-94

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

Builder
MC Const.

245-4931

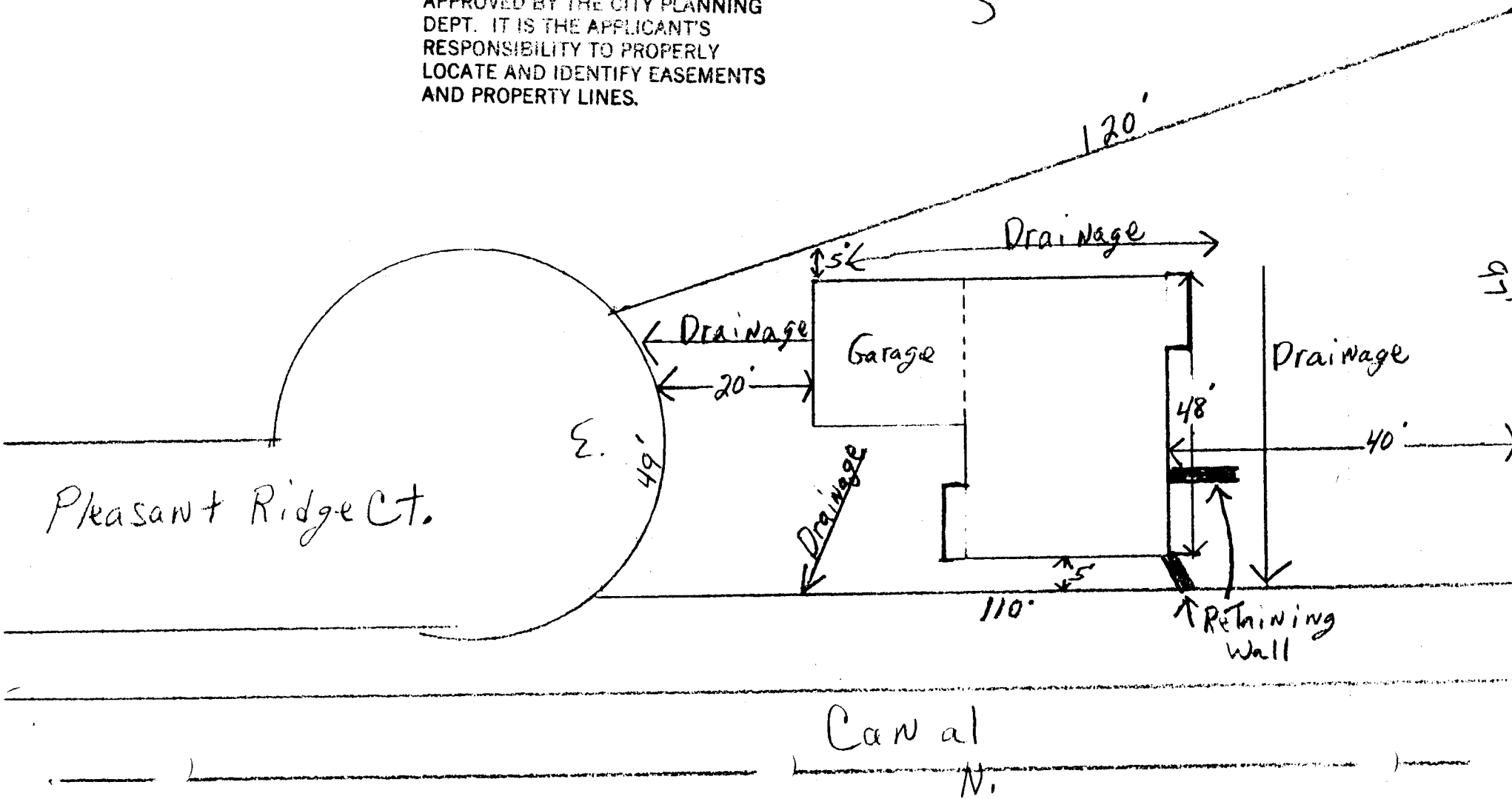
2381 Pleasant Ridge Ct.

Lot 23A

Block 29
Filing #6

ACCEPTED MP 6-14-94
ANY CHANGE OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPT. IT IS THE APPLICANT'S
RESPONSIBILITY TO PROPERLY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES.

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► APPROVAL FOR BUILDING PERMIT ◀
Ridges Architectural Control Committee (ACCO)

Job No. 94-19
 Builder or Homeowner MC Const
 Ridges Filing No. 6
 Block 29 Lot 23A
 Pages Submitted 4
 Date Submitted 5-31-94

A - Approved
 NA - Not Approved

2381 Pkerrat Ridge Ct.
245-4931

SITE PLAN

- | | | |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) <u>20'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) <u>40'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) <u>5'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Square Footage <u>1498</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks <u>Concrete 4"</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) <u>Concrete 4"</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Drainage <u>North</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping _____ |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

EXTERIOR ELEVATIONS

- | | | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'-0" maximum) <u>16'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material <u>Asphalt</u> Color <u>Weathered Gray</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color <u>1 eggstone</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material <u>Mosaic</u> Color <u>Pebbles</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Material <u>Main Body</u> Color <u>Clay</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color <u>Cortege</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios <u>Concrete</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Other _____ |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

Paint vent pipes on roof
convent under drive way

NOTE: Architectural Control Committee assumes no responsibility for the design, construction, or conformance to all applicable codes.

APPROVED Ridges Architectural Control Committee
5/31/94

NOTE: Sewer, radon, and well permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

signature below, builder or owner guarantees that improvements will be constructed as shown on this form and building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee

By [Signature]
 By [Signature] 6/8/94

Builder/Realtor/Homeowner

By [Signature]
 Date 5-31-94