

FEE \$ 5.00

BLDG PERMIT NO. 48679

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Grand Junction Community Development Department

5001-6665-01

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 2383 Pleasant Ridge Ct TAX SCHEDULE NO. 2945-174-33-022  
 SUBDIVISION Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1515  
 FILING 6 BLK 29 LOT 22A SQ. FT. OF EXISTING BLDG(S) None  
 (1) OWNER Gerald Murphy NO. OF DWELLING UNITS BEFORE: None AFTER: 1 THIS CONSTRUCTION  
 (1) ADDRESS 2397 Broadway NO. OF BLDGS ON PARCEL BEFORE: None AFTER: 1 THIS CONSTRUCTION  
 (1) TELEPHONE 245-4931 USE OF EXISTING BLDGS None  
 (2) APPLICANT Gerald Murphy DESCRIPTION OF WORK AND INTENDED USE:  
 (2) ADDRESS 2397 Broadway Build New Home for Resale  
 (2) TELEPHONE 245-4931

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR Maximum coverage of lot by structures       
 SETBACKS: Front 20 from property line (PL) or      Parking Req'mt 2  
     from center of ROW, whichever is greater Special Conditions       
 Side 0'-10' from PL Rear 10 from PL  
 Maximum Height 25' CENSUS TRACT 14 TRAFFIC ZONE 96

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

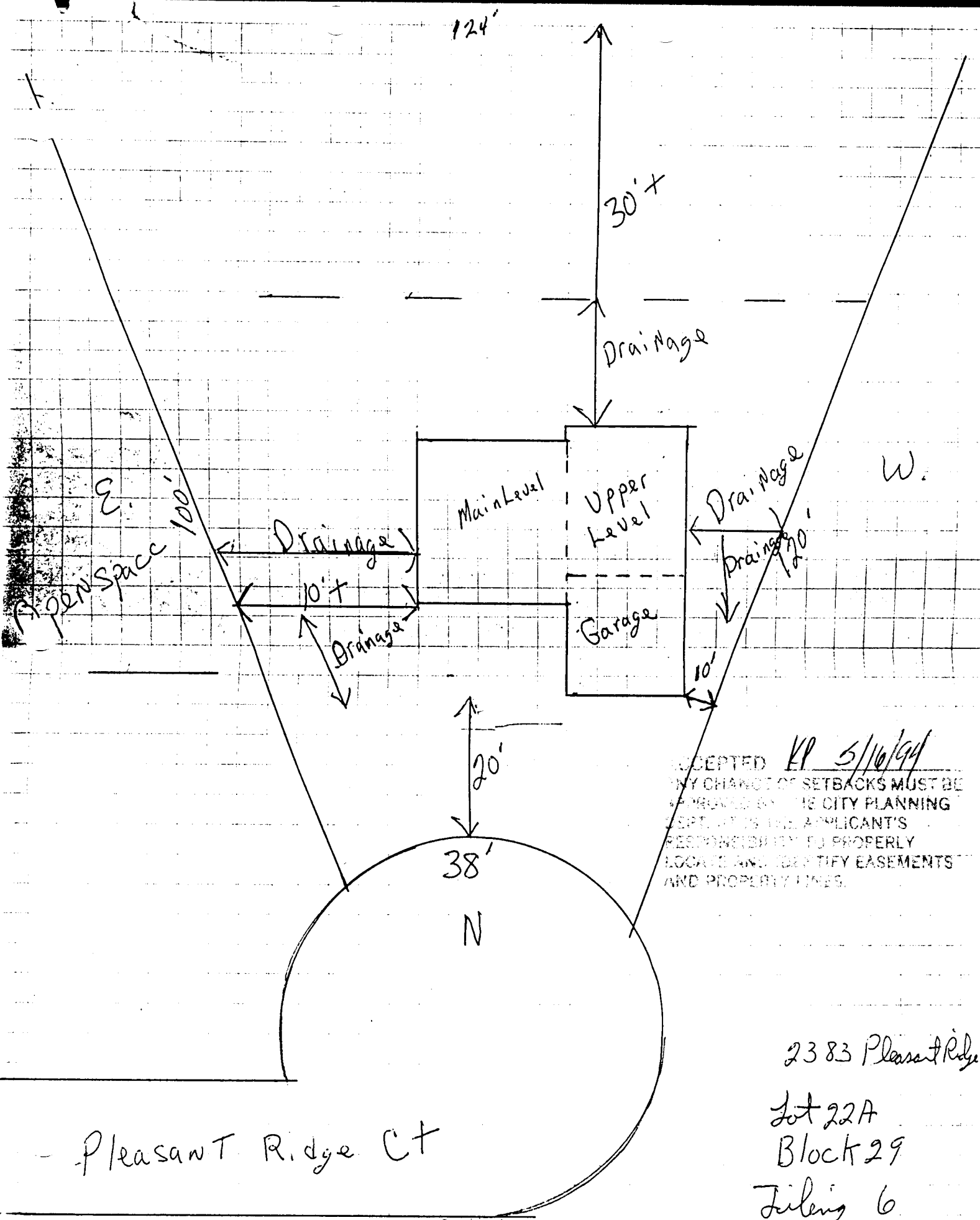
I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Gerald Murphy Date 5/16/94  
 Department Approval Kathy [Signature] Date 5/16/94

Additional water and/or sewer tap fee(s) are required: YES  NO  W/O No. 7566  
 Utility Accounting Micelle Soule Date 5-16-94

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



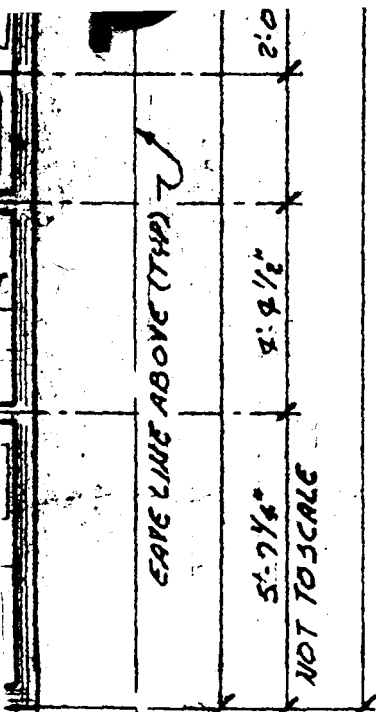
ACCEPTED KP 5/16/94  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

2383 Pleasant Ridge Ct

Lot 22A  
 Block 29

Filing 6

Builder  
 MC Const. (Chick) 245-4931



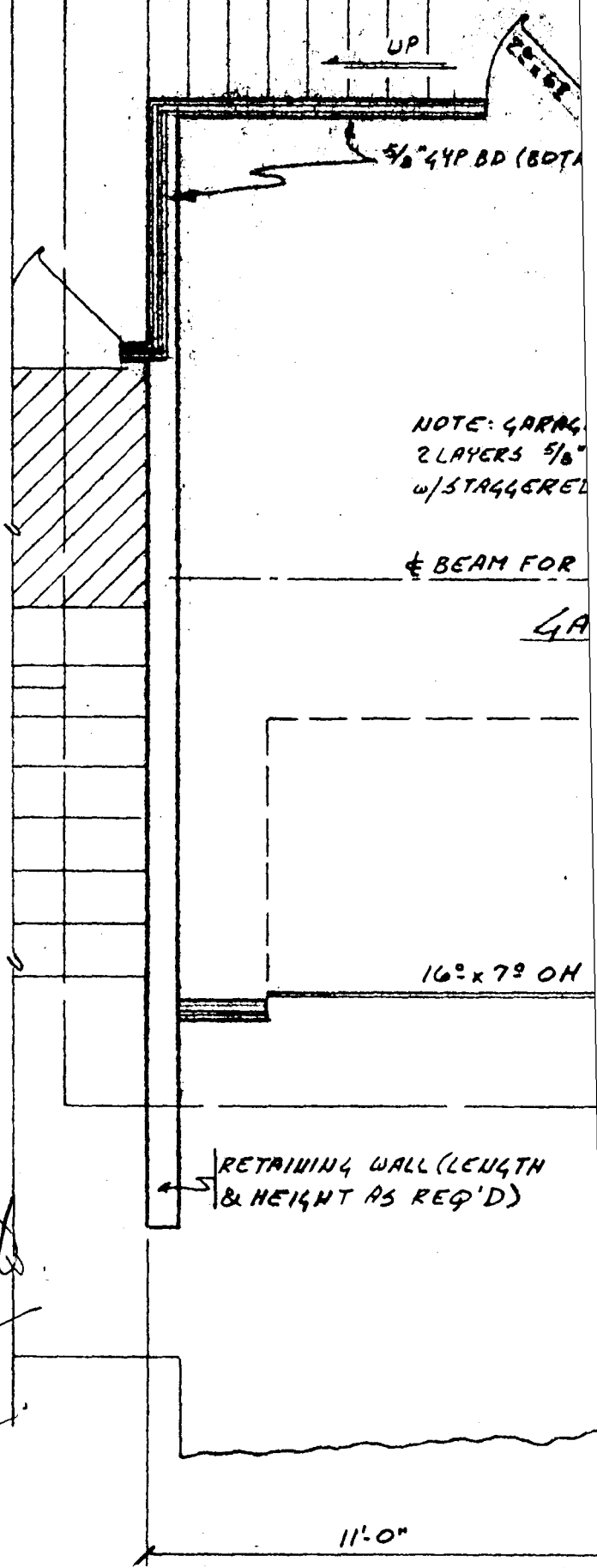
NOTE: UNLESS OTHERWISE SPECIFIED ALL CEILINGS ARE 8'-0" FROM FLOOR AND ARE FLAT

NOTE: Architectural Control Committee assumes no responsibility for the design, construction, or conformance to all applicable codes.

APPROVED Ridges Architectural Control Committee

*[Handwritten signatures]*

2383 Pleasant Ridge Ct.  
 Lot 22A



LOWER LEVEL