

DATE SUBMITTED 2-24-94

✓ BUILDING PERMIT NO. 47697

FEE \$ 5.00

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Department of Community Development

BLDG ADDRESS 2389 Pleasant Ridge Ct. SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1434
 SUBDIVISION Ridges SQ. FT. OF EXISTING BLDG(S) None
 FILING 6 BLK 29 LOT 17A NO. OF FAMILY UNITS 1
 TAX SCHEDULE NO. 2945-174-33-017 NO. OF BLDGS ON PARCEL BEFORE THIS CONSTRUCTION None
 OWNER Pat Withers DESCRIPTION OF WORK AND INTENDED USE:
 ADDRESS 1340 North Ave. Build New Home
 TELEPHONE 246-2100

REQUIRED: Two plot plans showing parking, setbacks to all property lines, and all rights-of-way which abut the parcel.

ZONE PR-4 DESIGNATED FLOODPLAIN: YES _____ NO
 SETBACKS: Front 20' from property line or from center of ROW, whichever is greater GEOLOGIC HAZARD: YES _____ NO _____
 Side 5' from property line CENSUS TRACT 14 TRAFFIC ZONE 96
 Rear 10' from property line PARKING REQ'MT _____
 Maximum Height 25' SPECIAL CONDITIONS: _____
 Maximum coverage of lot by structures _____

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a final inspection has been completed by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. I understand that failure to comply shall result in legal action.

Department Approval Marcia Pety Applicant Signature Donald Mumpuka
 Date Approved 2-24-94 Date 2/18/94

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department)

► APPROVAL FOR BUILDING PERMIT ◀
Ridges Architectural Control Committee (ACCO)

Job No. 94-7
 Builder or Homeowner MC Const.
 Ridges Filing No. 6
 Block 29 Lot 17A
 Pages Submitted _____
 Date Submitted 2/17/94

- Approved
 - Not Approved

2389 Pleasant Ridge Rd.
245-4931

SITE PLAN

- | A | NA | |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) <u>20'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) <u>30'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) <u>5' A lot</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Square Footage <u>1434</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Sidewalks <u>Concrete 4"</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) <u>Concrete 4"</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Drainage <u>North</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping _____ |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

EXTERIOR ELEVATIONS

- | | | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Height (25'0" maximum) <u>15'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Roof - Material <u>Asphalt</u> Color <u>Pastel Brown</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color <u>Trick Tan SW 2171</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material <u>Masonite</u> Color <u>Pardo SW 2179</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Material <u>Cedar Tex</u> Color <u>Robinson Brick</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color <u>Old Chicago</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Other _____ |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

NOTE: Architectural Control Committee assumes no responsibility for the design, construction, or performance to all applicable codes.

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

APPROVED Ridges Architectural

signature below, builder or owner guarantees that improvements will be constructed as shown on this form and building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee	Builder/Realtor/Homeowner
By <u>[Signature]</u>	By _____
By <u>[Signature]</u>	Date _____

S 58'

ACCEPTED *MD 2-24-94*
ANY CLAIM OF INTEREST IN THE
APPROVED FOR THE PURPOSES OF
RECORDING THE SAME SHALL BE
LOCATED AND IDENTIFY EASEMENTS
AND PROPERTY LINES.

7X12S IAB
48'

House
1434 Sq ft.

Garage

2389
Pleasant Ridge Court

58'
Dranige^N Ditch

Pleasant Ridge Court

Lot 17A Block 29
Filing #6

