FEE $ 5⁰⁰

BLDG PERMIT NO. 49005

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Community Development Department

36-32-1610-04-8

☞ **THIS SECTION TO BE COMPLETED BY APPLICANT** ☜

BLDG ADDRESS 3201 Primrose Ct   TAX SCHEDULE NO. 2945-014-15-006

SUBDIVISION Spring Valley   SQ. FT. OF PROPOSED BLDG(S)/ADDITION 950

FILING 4 BLK 7 LOT 6   SQ. FT. OF EXISTING BLDG(S) 1300

(1) OWNER Joe DeVencenty

(1) ADDRESS 3201 Primrose Ct

NO. OF DWELLING UNITS
BEFORE: 1 AFTER: 1 THIS CONSTRUCTION

(1) TELEPHONE 241-3375

NO. OF BLDGS ON PARCEL
BEFORE: 1 AFTER: 1 THIS CONSTRUCTION

(2) APPLICANT Joe DeVencenty   USE OF EXISTING BLDGS home

(2) ADDRESS 3201 Primrose Ct.   DESCRIPTION OF WORK AND INTENDED USE:

(2) TELEPHONE 241-3375   2 bedroom /2 bath addition
16' x 29'

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

☞ **THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF** ☜

ZONE RSF-8   Maximum coverage of lot by structures 45%

SETBACKS: Front 20' from property line (PL) or
45 from center of ROW, whichever is greater

Parking Req'mt _____

Side 5' from PL   Rear 15' from PL

Special Conditions _____

Maximum Height 32'

CENSUS TRACT 10 TRAFFIC ZONE 21

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Joe D DeVencenty   Date 5-2-94

Department Approval Bonnie Edwards   Date 6-14-94

Additional water and/or sewer tap fee(s) are required: YES ____ NO X W/O No. N/A

Utility Accounting Millie Fowler   Date 6-14-94

no change in use

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)
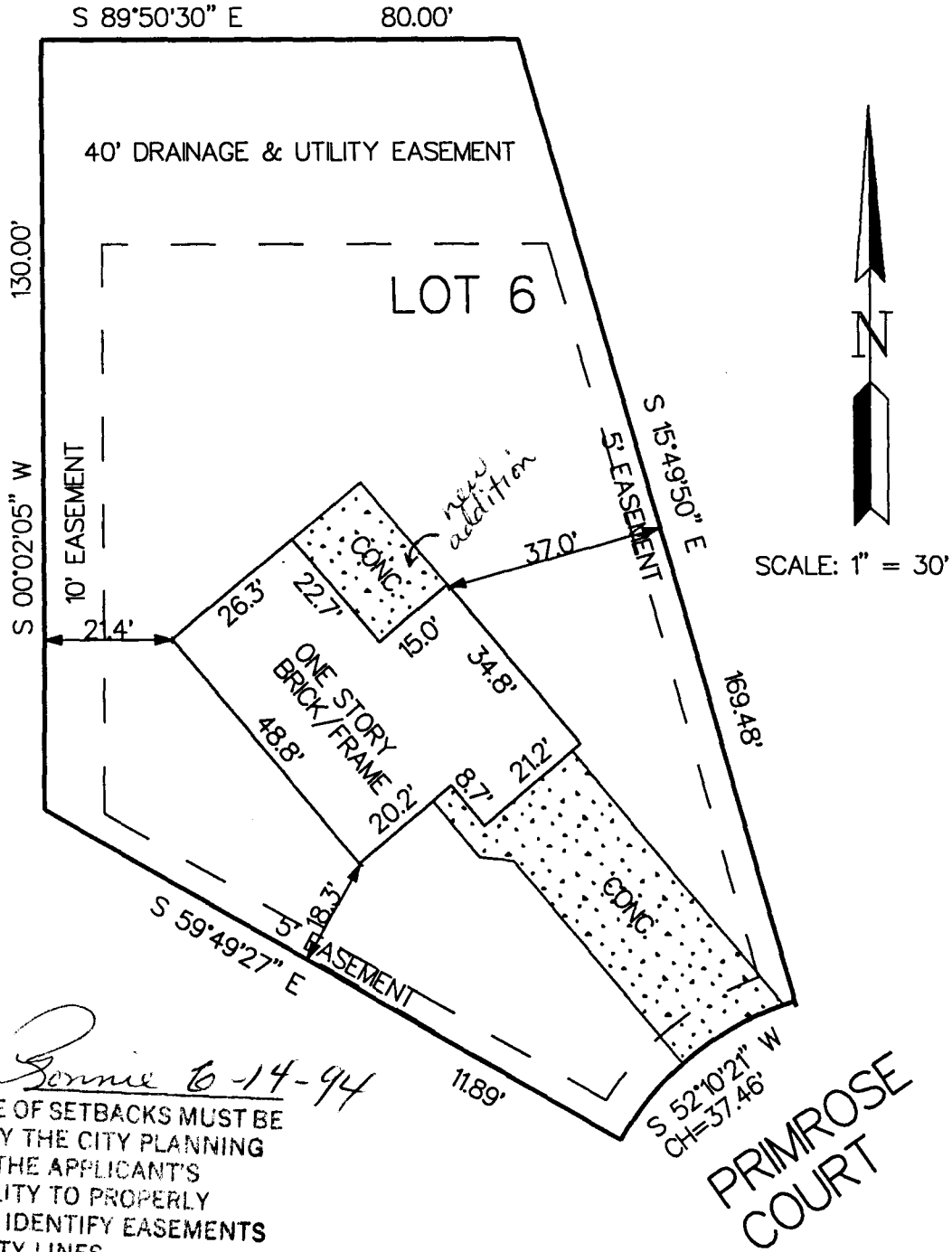
(White: Planning)   *(Yellow: Customer)*   *(Pink: Building Department)*   *(Goldenrod: Utility Accounting)*

IMPROVEMENT LOCATION CERTIFICATE

3201 PRIMROSE COURT

WESTERN COLORADO TITLE #93—9—71M
DEVENCENTY ACCT.
LOT 6 OF SPRING VALLEY FILING #4, MESA COUNTY, COLORADO.

S 89°50'30" E   80.00'

40' DRAINAGE & UTILITY EASEMENT

130.00'

LOT 6

N

S 15°49'50" E
5' EASEMENT

SCALE: 1" = 30'

S 00°02'05" W
10' EASEMENT

21.4'

26.3'   22.7'   CONC.   new addition   37.0'

15.0'   34.8'

ONE STORY
BRICK/FRAME

48.8'

169.48'

20.2'   8.7'   21.2'

18.3'   CONC.

S 59°49'27" E   5' EASEMENT

11.89'

S 52°10'21" W
CH=37.46'

PRIMROSE COURT

ACCEPTED *Bonnie* 6-14-94
ANY CHANGE OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPT. IT IS THE APPLICANT'S
RESPONSIBILITY TO PROPERLY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES.

NOTE: THIS PROPERTY DOES NOT FALL WITHIN ANY 100 YEAR FLOODPLAIN.

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR ___FLEET MORTGAGE — SANDY___ ,
THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT
OF FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES. I FURTHER CERTIFY THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON
THIS DATE, ___10/7/93___ EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS
SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS
INDICATED, AND THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS
NOTED.

● = FOUND PIN

Kenneth Glenn
KENNETH L. GLENN R.L.S. 12770

SURVEYIT
by GLENN

MAILING:
2004 NORTH 12th
SUITE 7
GRAND JUNCTION, CO. 81501

PHONE: FAX:
303-245-3777   241-4847

SURVEYED BY: B.H.	DATE SURVEYED: 10/7/93
DRAWN BY: J.G.	DATE DRAWN: 10/7/93
REVISION:	SCALE: 1" = 30'