

DATE SUBMITTED 1/14/94

BUILDING PERMIT NO. 474001

FEE \$ 5.00

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Grand Junction Department of Community Development

BLDG ADDRESS 413 Prospect PT
SUBDIVISION Ridges
FILING 6 BLK 30 LOT 11 A
TAX SCHEDULE NO. 3995-174-34-011
OWNER Jody Green
ADDRESS 148 Orchard
TELEPHONE 342-6131

SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1390
SQ. FT. OF EXISTING BLDG(S) _____
NO. OF FAMILY UNITS _____
NO. OF BLDGS ON PARCEL BEFORE THIS CONSTRUCTION _____
DESCRIPTION OF WORK AND INTENDED USE:
New Residence

REQUIRED: Two plot plans showing parking, setbacks to all property lines, and all rights-of-way which abut the parcel.

ZONE PR
SETBACKS: Front 20 from property line or _____ from center of ROW, whichever is greater
Side 0'-10' from property line
Rear 10 from property line
Maximum Height 25
Maximum coverage of lot by structures _____

DESIGNATED FLOODPLAIN: YES _____ NO X
GEOLOGIC HAZARD: YES _____ NO _____
CENSUS TRACT 14 TRAFFIC ZONE 96
PARKING REQ'MT 2
SPECIAL CONDITIONS: _____

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a final inspection has been completed by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. I understand that failure to comply shall result in legal action.

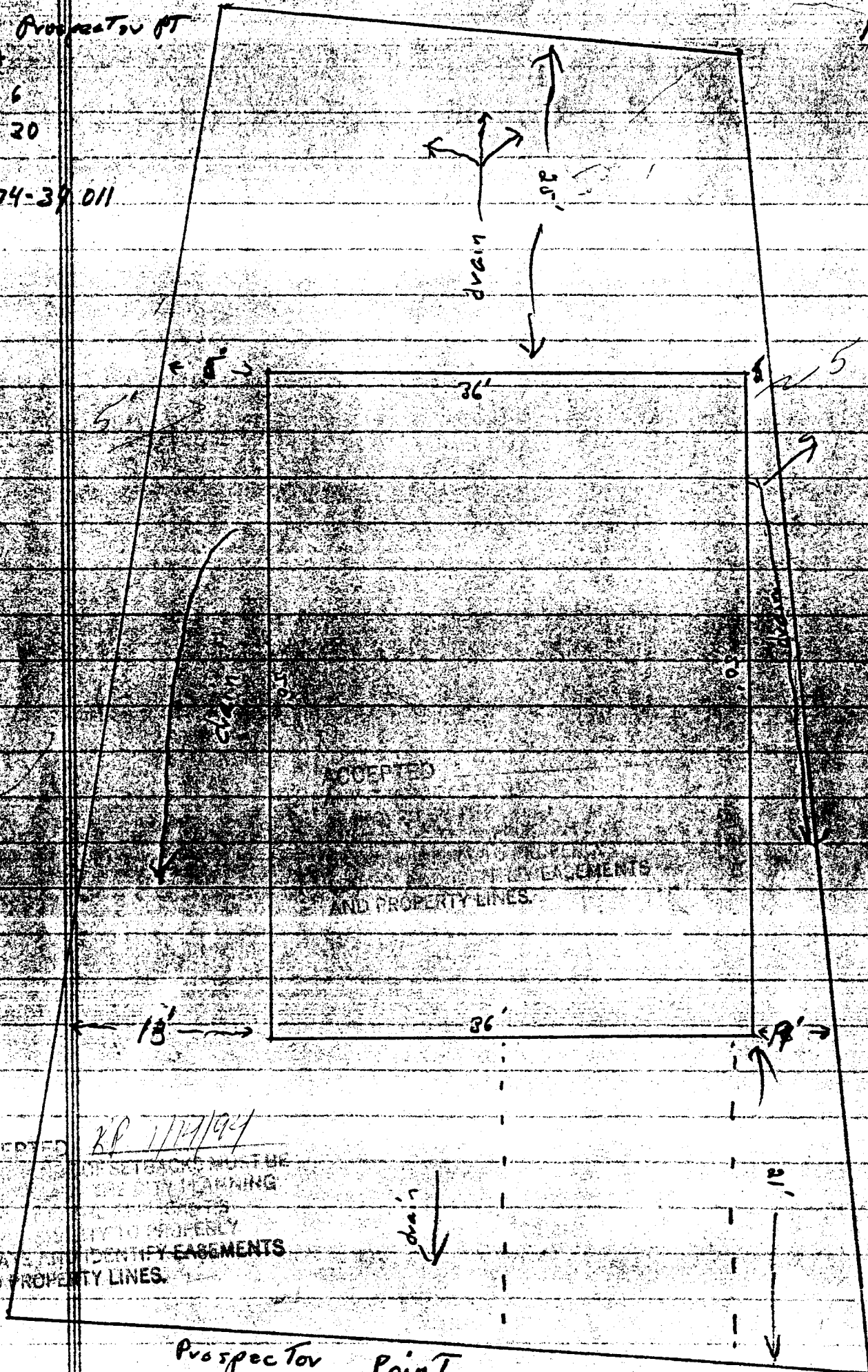
Department Approval Kathy Peterson
Date Approved 1/14/94

Applicant Signature Juan Escam
Date 1/14/94

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department)

413 Prospect Point
Lot 11A
Block 20
Tax set
9945-174-37.011



ACCEPTED
IDENTIFY EASEMENTS
AND PROPERTY LINES.

ACCEPTED
IDENTIFY EASEMENTS
AND PROPERTY LINES.

RP 11/7/94

Prospect Point

► APPROVAL FOR BUILDING PERMIT ◀
Ridges Architectural Control Committee (ACCO)

Job No. 94-1
 Builder or Homeowner
Target Realty
 Ridges Filing No. 6
 Block 30 Lot 11A
 Pages Submitted _____
 Date Submitted _____

A - Approved
 NA - Not Approved

SITE PLAN

- | | | | |
|-------------------------------------|--------------------------|---|------------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) | <u>21'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) | <u>25'</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) | <u>842' See 'Subject To'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Square Footage | <u>1370</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks | |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) | <u>Concrete 4" culvert beneath</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Drainage | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Landscaping | <u>customer provide</u> |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

EXTERIOR ELEVATIONS

- | | | | |
|-------------------------------------|--------------------------|-------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Height (25'-0" maximum) | <u>16 app</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Roof - Material | <u>Camp</u> Color: <u>Weathered Wood</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color | <u>White</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material | <u>Stucco</u> Color: <u>Stucco 3045</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Material | Color |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color | |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color | |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony | |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios | |
| <input type="checkbox"/> | <input type="checkbox"/> | Other | |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

- Requires 5' setback on east side or a variance approved from the City
- Concrete sidewalk
- Paint Flashings, vent pipes, Turbines, Roof vents etc. same color as roof.

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of permit.

NOTE: ACCO makes no judgement on foundation design.

APPROVED
 Ridges Architectural Control Committee
[Signature]

NOTE: Architectural Control Committee assumes no responsibility for the design, construction, or construction of all applicable codes.

By signature below, builder or owner guarantees that improvements will be constructed on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee

By [Signature]
 By [Signature]

Builder/Realtor/Homeowner

By [Signature]
 Date 1-6-94