

FEE \$ 10.00

BLDG PERMIT NO. 50285

TCP - \$ 500.00

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Community Development Department

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 415 Prospector's Point TAX SCHEDULE NO. 2945-174-34-009

SUBDIVISION The Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1368⁴

FILING 6 BLK 30 LOT 9A SQ. FT. OF EXISTING BLDG(S) Ø

(1) OWNER Daniel R. Gearhart NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 2320-E 1/2 Rd. Grand Junction NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) TELEPHONE 244-8925

(2) APPLICANT Daniel R. Gearhart USE OF EXISTING BLDGS S/F Residential
DBA. RED HART Construction

(2) ADDRESS 2320-E 1/2 Rd. Grand Junction DESCRIPTION OF WORK AND INTENDED USE: _____

(2) TELEPHONE 244-8925 S/F Residence w double garage

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR Maximum coverage of lot by structures _____

SETBACKS: Front 20 from property line (PL) or _____ from center of ROW, whichever is greater Parking Req'mt 2

Side 0-10 from PL Rear 10 from PL Special Conditions _____

Maximum Height 25

CENSUS TRACT K1 TRAFFIC ZONE 9c

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Daniel R. Gearhart Date 9-29-94

Department Approval Kathy Fortner Date 9/29/94

Additional water and/or sewer tap fee(s) are required: YES NO _____ W/O No. 7873

Utility Accounting Richardson (SO) Date 9-29-94

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

► APPROVAL FOR BUILDING PERMIT ◀
 Ridges Architectural Control Committee (ACCO)

Job No. 94-26
 Builder or Homeowner David R. Gearhart
 Ridges Filing No. 6
 Block 30 Lot 9A
 Pages Submitted 3
 Date Submitted 9-21-94

- Approved
 NA - Not Approved

SITE PLAN

- | | | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) <u>21'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) <u>35'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) <u>A lot 5' & 5 1/2'</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Square Footage <u>1368</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks <u>porch joint drive</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) <u>concrete 4"</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Drainage <u>Flat lot</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping <u>By owner (1 yr to complete)</u> |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

EXTERIOR ELEVATIONS

- | | | |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Height (25'-0" maximum) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material <u>20 yr. Asphalt shingle</u> Color <u>Tanco "Tweed" Br</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color <u>white</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material <u>stucco</u> Color <u>PF 40 Peach</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Porches or patios <u>Front</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Other _____ |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

Galvalt under driveway
Paint Galvalized metal above roof dark color or match roof

NOTE: Architectural Control Committee assumes no responsibility for the design, construction, or conformance to all applicable codes.

NOTE: Sewer, radon, and water permits must be obtained by applicant.

NOTE: ACCO makes no judgement on foundation design.

By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee

By [Signature]
 By [Signature]

Builder/Realtor/Homeowner

APPROVED Ridges Architectural Control Committee [Signature]

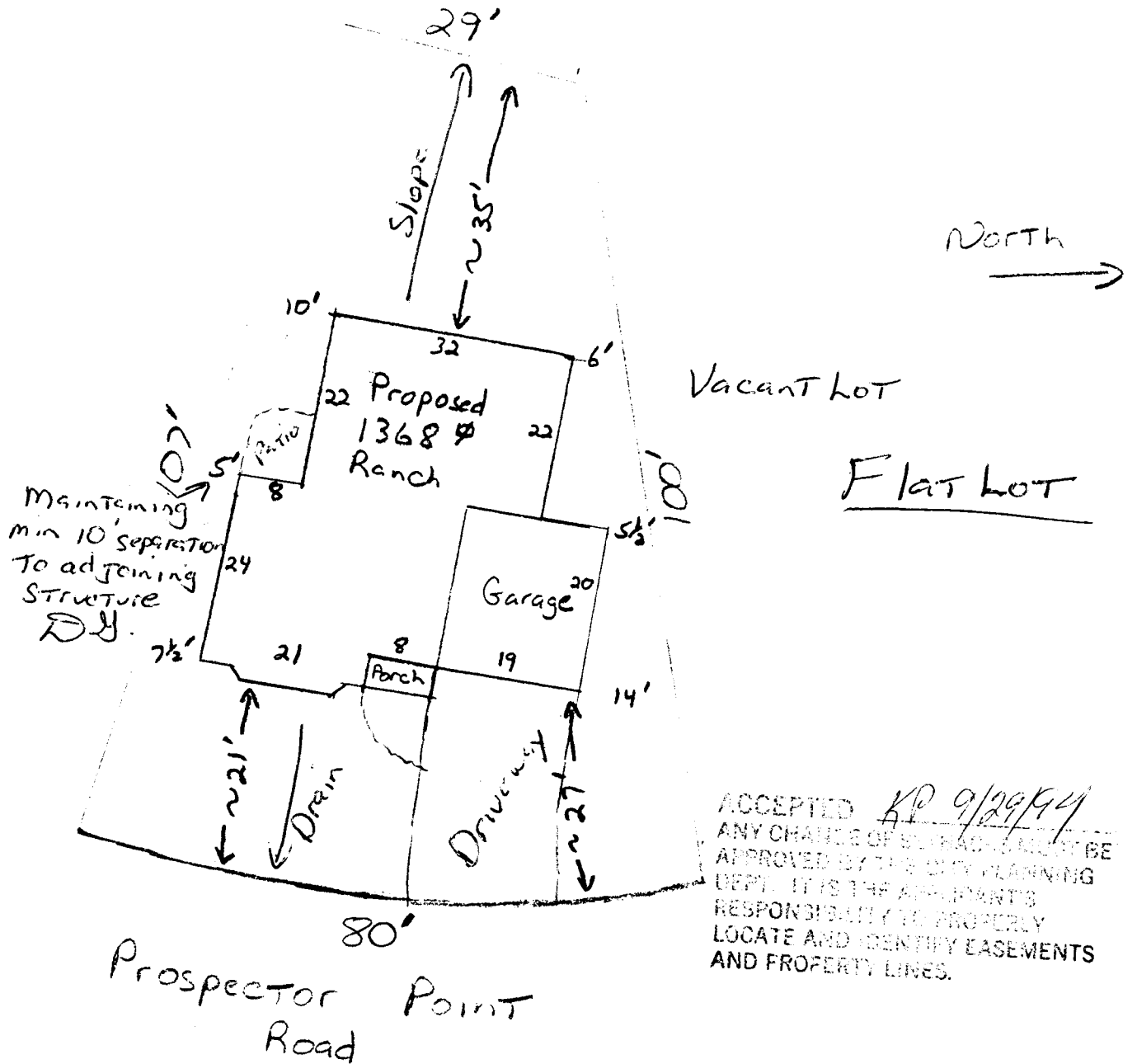
RED HART CONSTRUCTION
2320 E 1/2 ROAD
GRAND JUNCTION, CO 81508
(303) 244-8975

Daniel R. Gearhart - 244-8975

LOT 9A Block 30 Filing 6 The Ridges Sec 17-15-1W

Address: 415 Prospector Point

Open
Space



Tax # 2945-174-34-009

1" = 20'