

FEE \$ 10<sup>00</sup>  
TCP \$ 500<sup>00</sup>

BLDG PERMIT NO. 54770

✓ JCB PC

**PLANNING CLEARANCE**  
(Single Family Residential and Accessory Structures)  
**Grand Junction Community Development Department**

5030-0990-01 THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 307 E. DAKOTA DR. TAX SCHEDULE NO. 2945-302-07-034  
SUBDIVISION MONUMENT VALLEY EST. SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2600  
FILING 5 BLK 1 LOT 34 SQ. FT. OF EXISTING BLDG(S) —  
(1) OWNER CHESTER J UTT NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(1) ADDRESS 57 N. RIDGE CT. PARACHUTE 91635 NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(1) TELEPHONE 295-6163 USE OF EXISTING BLDGS —  
(2) APPLICANT CHESTER J. UTT DESCRIPTION OF WORK AND INTENDED USE: new home  
(2) ADDRESS 57 N RIDGE CT. PARACHUTE 91635  
(2) TELEPHONE 295-6163

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR-1.6 Maximum coverage of lot by structures \_\_\_\_\_  
SETBACKS: Front 40' from property line (PL) Parking Req'mt \_\_\_\_\_  
or \_\_\_\_\_ from center of ROW, whichever is greater  
Side 35' from PL Rear 35' from PL Special Conditions DRIVEWAY PERMIT REQUIRED  
\$30 FROM CITY ENGINEER (By Contractor only)  
Maximum Height \_\_\_\_\_ CENS.T. 14 T ZONE 64 ANN# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Chester J. Utt Jr. Date 1-12-96  
Department Approval Marcia Rabideaux Date 1-16-96

Additional water and/or sewer tap fee(s) are required: YES  NO \_\_\_\_\_ W/O No. 8868 S/F  
Utility Accounting Millie Joubert Date 1-16-96

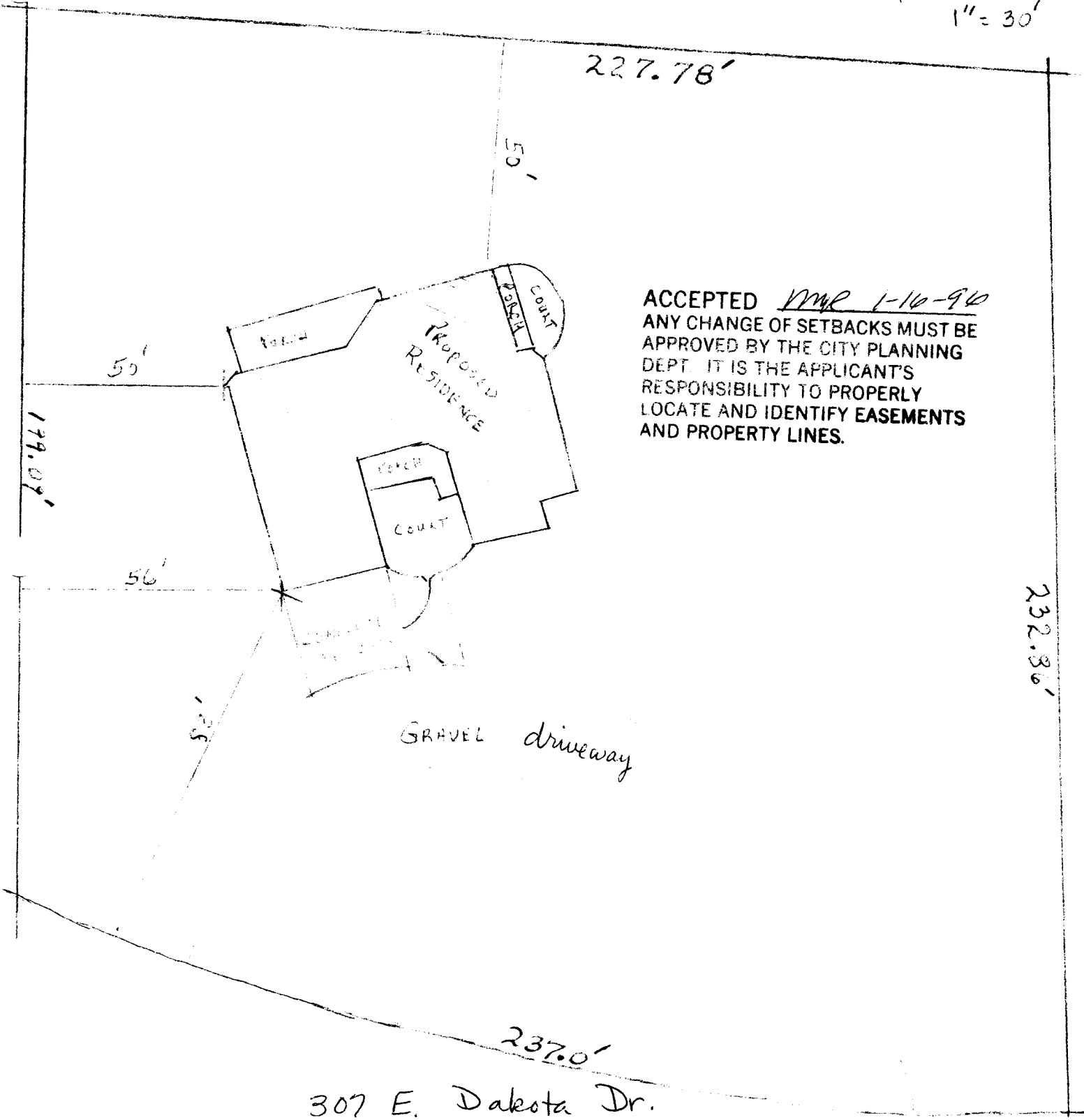
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

MONUMENT VALLEY  
307 E. DAKOTA DR.

TILING S  
E 1/4  
LOT 34

1" = 30'



ACCEPTED MMR 1-10-90  
ANY CHANGE OF SETBACKS MUST BE  
APPROVED BY THE CITY PLANNING  
DEPT. IT IS THE APPLICANT'S  
RESPONSIBILITY TO PROPERLY  
LOCATE AND IDENTIFY EASEMENTS  
AND PROPERTY LINES.

Copy Distribution  
 White-Contractor  
 Tanary-Office File  
 Green-Inspector  
 Pink-Street Supt.

Multiple Copies: Please Type or Press Firmly With Ball Point Pen

CITY OF GRAND JUNCTION  
 250 North Fifth Street  
 Grand Junction, Colo. 81501

4186  
 Department of Public Works  
 Engineering Division  
 Phone (303) 244-1555  
 Fax (303) 244-1599

PERMIT FOR CONSTRUCTION AND INSTALLATION OF FACILITIES IN PUBLIC RIGHT OF WAY

Contractor

Company CHESTER LIT  
 Concrete Curbing/Sidewalk License No. N/A  
 Address 57 N. RIDGE CT.  
 City PARKHURST State CO Zip Code 81635  
 Application Date 1-16-96  
 Date Work to Begin 4-16-96  
 Anticipated Completion Date 5-16-96

(Water Conservancy Districts Exempt)

Permit Fee

Curbing/Sidewalk Permit (\$30) \$ \_\_\_\_\_  
 Pavement Cut/Excavation Permit (\$50) \$ \_\_\_\_\_  
 Plus \$0.05 per linear foot of trench over 100' in length \$ \_\_\_\_\_  
 Other \$ \_\_\_\_\_  
 Total Permit Fees \$ N/C

Responsible Charge

CHESTER LIT 285-6163  
 Responsible Construction Supervisor Phone No.  
 Alternate Responsible Person Phone No.  
 After Working Hours Contact Phone No.

Job Location(s)

Street Address/Location(s) 307 E. DAKOTA DR. Subdivision Name (If Known) MONUMENT VALLEY ESTATES

Type of Work  1 Remove Existing  2 Repair Existing  3 Replace Existing  4 New Installation Utility Work Is  
 1  2  3  4 Sanitary Sewer  1  2  3  4 Irrigation  1  2  3  4 Driveway  1  2  3  4 Underground Power  Main Line  
 1  2  3  4 Storm Sewer  1  2  3  4 Curb & Gutter  1  2  3  4 Telephone  1  2  3  4 Gas  Service Line  
 1  2  3  4 Water  1  2  3  4 Sidewalk  1  2  3  4 Cable T.V.  1  2  3  4 Other Culvert

Estimated Quantities

Curb, Gutter & Sidewalk \_\_\_\_\_ Lineal Feet Sidewalk Crossing Drain \_\_\_\_\_ Each  
 Curb & Gutter \_\_\_\_\_ Lineal Feet Storm Drain Inlet \_\_\_\_\_ Each  
 Sidewalk \_\_\_\_\_ Lineal Feet Asphalt Pavement \_\_\_\_\_ Square Yards  
 Driveway Section \_\_\_\_\_ Square Yards Concrete Pavement \_\_\_\_\_ Square Yards  
 Drain Pan \_\_\_\_\_ Lineal Feet Other \_\_\_\_\_  
 Excavation Volume \_\_\_\_\_ Cubic Yards Type of Backfill \_\_\_\_\_

Requirements

(To Be Completed By City)

Testing Requirements\*\*

Yes No  
  Performance Guaranty  
  Traffic Control Plan  
  Pedestrian Safety Plan  
  Inspection of Concrete Forms & Base  
  Inspection of Facilities Prior to Back-Fill  
  Inspection of Subgrade After Back-Fill  
  Final Inspection Upon Completion of Work  
  Community Development Department Approval \*  
  End of day surface restoration required. (Surfacing material to be used \_\_\_\_\_ )

Backfill Compaction Test(s) AASHTO T-99  
 Roadbase Compaction Test(s) AASHTO T-180  
 Bituminous Pavement Compaction Test(s) AASHTO T-230  
 Concrete Slump/Air Test(s) AASHTO T-119, T-152  
 Concrete Compressive Strength AASHTO T-22, T-23  
 Other Testing: \_\_\_\_\_

\* Community Development Department approval required for new or changed access to all streets except residential.  
 \*\* All compliance testing shall be performed by a qualified independent laboratory. Frequency of testing shall be in accordance with city specifications.

In accepting this permit the undersigned, representing the Permittee, verifies that he has read and understands all the provisions and requirements of this permit; that he has authority to sign for and bind the Permittee; and by virtue of his signature the Permittee is bound by and agrees to comply with all City ordinances, standards and specifications regulating construction.

Contractor Chester Lit

Permit Valid For 6 Months From Date Issued

Preconstruction Inspection by: [Signature] Date 1-16-96  
 Public Works Permit Approval by: \_\_\_\_\_ Date \_\_\_\_\_  
 Community Development Approval by: \_\_\_\_\_ Date \_\_\_\_\_  
 Final Inspection by: \_\_\_\_\_ Date \_\_\_\_\_

Install 18" culvert under each driveway in existing drainage ditch