4	
FEE \$ 10-00 TCP \$ 0	BLDG PERMIT NO. 57924
PLANNIN (Single Family Reside	IG CLEARANCE ential and Accessory Structures) unity Development Department
🖙 THIS SECTION TO BE	E COMPLETED BY APPLICANT 📾
	TAX SCHEDULE NO. <u>2945-193-08-004</u>
	SQ. FT. OF PROPOSED BLDG(S)/ADDITION 3400
FILING 5 BLK 2 LOT 4	SQ. FT. OF EXISTING BLDG(S)
(1) OWNER <u>COHEN</u>	NO. OF DWELLING UNITS BEFORE:AFTER:THIS CONSTRUCTION
(1) ADDRESS 318 E DAKOTA	NO. OF BLDGS ON PARCEL
(1) TELEPHONE 742-0407	BEFORE: AFTER: THIS CONSTRUCTION
(2) APPLICANT KODIAK Custom Homes	USE OF EXISTING BLDGS
(2) ADDRESS 2449 H ROAD	DESCRIPTION OF WORK AND INTENDED USE:
⁽²⁾ TELEPHONE <u>242-0407</u>	NEW HomE
	r, showing all existing and proposed structure location(s), parking, perty, and all easements and rights-of-way which abut the parcel.
THIS SECTION TO BE COMPLETED BY C	OMMUNITY DEVELOPMENT DEPARTMENT STAFF 📾
zone	Maximum coverage of lot by structures
SETBACKS: Front from property line (PL) or from center of ROW, whichever is greater	Parking Req'mt
Side 35 from PL Rear 35 from FL	Special Conditions
Maximum Height	

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

CENSUS TRACT

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature	Date 9-15-96
Department Approval Junta Costello	Date 10/2/196
Jditional water and/or sewer tap fee(s) are required: YES V NO	W/O No. 9597
Utility Accounting address and the second seco	Date 10-21-96
VALUE FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-20 G	rand Junction Zoning & Development Code)

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning)

(Yellow: Customer)

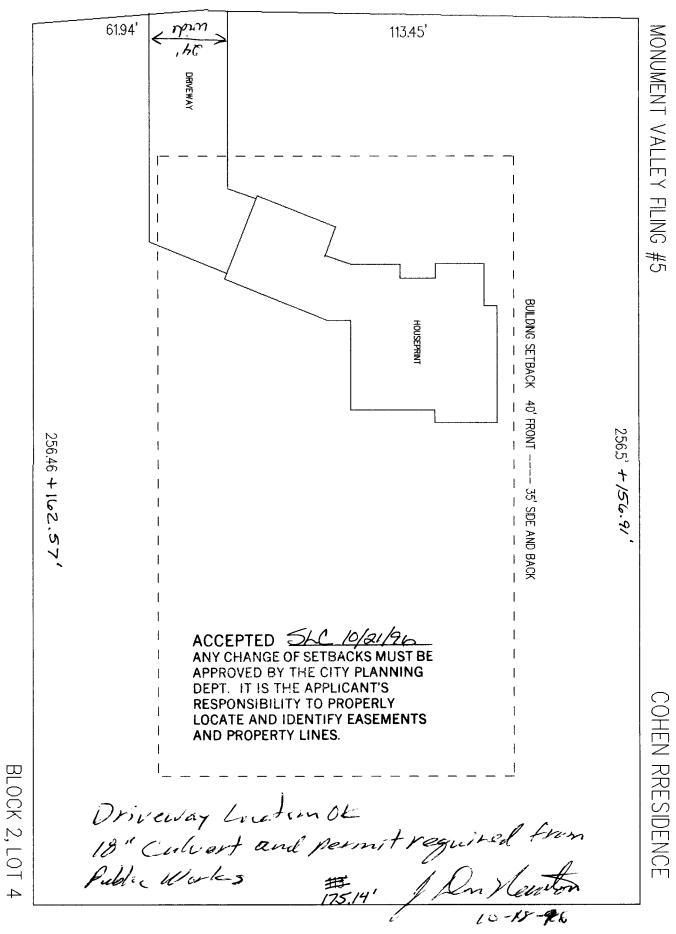
(Pink: Building Department)

(Goldenrod: Utility Accounting)

TRAFFIC ZONE

FRont





PERMIT FOR ACCESS OR SURFACE ALTERATION WITHIN PUBLIC RIGHT OF WAY

<u>Copy Distribution</u>
White-Contractor
Canary-Office File
an-Inspector
-Street Supt.
· ·

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CITY OF GRAND JUNCTION 250 North Fifth Street Grand Junction, CO 81501

Department of Public Works
Engineering Division
Phone (970) 244-1555
Fax (970) 244-1599
4596 •

Application For: Maccess Burface Alteration Company TAE Caces CREAD faits charace Alteration In accepting the understands all the provision and the operation of the provision and the provisi and the provision and the provisi and the p				
Concrete Curbing/Sidewalk Licence No. U/4 Mateer 2.4749	Application For: 🕅 Access 🗌 Surface Alteration	on		
Application Date 16 96 Date Work to Begin 10:17:94 14:07-04:07 Multipated Completion Date 12:30 97 Job Address or Location 31:8 F 0.04 KOPS Job Address or Location 31:8 F 0.04 KOPS 0.04 KOPS Job Address or Location 31:8 F 0.04 KOPS 0.04 KOPS Job Address or Location 31:8 F 0.04 KOPS 0.04 KOPS Job Address or Location 31:8 F 0.04 KOPS 0.04 KOPS Jiel Job Address or Location 31:8 F 0.04 KOPS 0.04 KOPS Jiel Job Address or Location 31:8 F 0.04 KOPS 0.04 KOPS Jiel Job Address or Location 31:8 F 0.04 KOPS 0.04 KOPS Jiel Job Address or Location 31:8 Contraction States 0.04 KOPS 0.04 KOPS Jiel Job Address or Location 12:3:14 Contraction States 0.04 KOPS 0.04 KOPS Jiel Job Address or Location 12:3:14 Contraction States 0.04 KOPS 0.04 KOPS Setainated Uncating Feet Storate Paye	Concrete Curbing/Sidewalk License No. <u>N/A</u> Address <u>2449 H Roap</u>		requirements of this permit; that he has authority to sign for an bind the Permittee; and by virtue of his signature the Permittee bound by and agrees to comply with all City ordinances, standards and specifications regulating construction.	nd is s
Date Work to Begin 10:17:94 If a finite 2.42-0.407 Anticipated Completion Date //-30.978 If a finite Type of Performance/Warrantee Guarantee Type of Performance/Warrantee Guarantee Ib Address or Location S18 F. DAKOTA In the amount of Type of Work I Remove Existing I Remove Existing Steplace Existing Of the amount of Type of Work I Remove Existing I Remove Existing Steplace Existing Of the amount of Type of Work I Remove Existing I Remove Existing Stevenik I Utility Work T2[2]3[4] Starm Sever T2[2]3[4] Curb & Gutter T2[2]3[4] Curb & Gutter Stevenik Existing East East East Curb, Gutter & Sidewalk Lineal Peet Stevenik Stevenik Stevenik East East East Driveway Section ZO ACROSS Square Yards Square Yards Square Yards Driveway Section ZO ACROSS Square Yards Stevenik T-118 East B			BUDDY BAIR 434-513/ Responsible Construction Supervisor Phone Phone Phone 241-6140	No. 7
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Driveway Section ZO' ACROSS Lineal Feet Asphalt Pavement Square Yards Driveway Section ZO' ACROSS Square Yards Concrete Pavement Square Yards Drain Pan Lineal Feet Other Square Yards Drain Pan Cubic Yards Type of Backfill MAT/U:: Excavation Volume Cubic Yards Testing Requirements* Yes No Calce Yards Testing Requirements* Yes No Backfill Compaction Test(s) ASHTO T-99 Drive Pavement Compaction Test(s) ASHTO T-190 Bituminous Pavement Compaction Test(s) ASHTO T-190 Drive Pavement of Concrete Forms & Base Concrete Sump/Air Test(s) ASHTO T-119, T-152 Bituminous Pavement Compaction Test(s) ASHTO T-22, T-23 Dinspection of Subgrade After Back-Fill Concrete Compressive Strength ASHTO T-22, T-23 Dinspection of Subgrade After Back-Fill Other Testing: Other Testing: Drive Pavement Department Approval * Other Testing shall be in accordance with city specifications. (Water Conservance Districts Exempt) Permit Fee Go.coc Curbing/Sidewalk/Driveway Permit (\$60) S Go.coc Prease for of trench over 100' i				
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