

FEE \$ 10 -  
TCP \$ 500 -

BLDG PERMIT NO. 57189

**PLANNING CLEARANCE**  
(Single Family Residential and Accessory Structures)  
Grand Junction Community Development Department

*✓ TCP*

**THIS SECTION TO BE COMPLETED BY APPLICANT**

BLDG ADDRESS 403 Rana Ct. TAX SCHEDULE NO. 2945-174-30-065  
SUBDIVISION The Ridges F#6 SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1275  
FILING 6 BLK 13 LOT 65A SQ. FT. OF EXISTING BLDG(S) None  
(1) OWNER BOOKCLIFF BUILDERS, LTD NO. OF DWELLING UNITS  
BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(1) ADDRESS 316 Cedar St. G.J. Co. 81503  
NO. OF BLDGS ON PARCEL  
(1) TELEPHONE 242-2212 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(2) APPLICANT BOOKCLIFF BUILDERS, LTD USE OF EXISTING BLDGS None  
(2) ADDRESS 316 Cedar St. G.J. Co. 81503 DESCRIPTION OF WORK AND INTENDED USE:  
(2) TELEPHONE 242-2212 New Single Family Residence

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE PR-4 Maximum coverage of lot by structures \_\_\_\_\_  
SETBACKS: Front 20' from property line (PL) Parking Req'mt 2  
or \_\_\_\_\_ from center of ROW, whichever is greater  
Side 0'-10' from PL Rear 10' from PL Special Conditions Minimum bldg. sep. - 10"  
Maximum Height \_\_\_\_\_ ACCO approval required  
CENS.T. 1401 T.ZONE 94 ANN# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 7-31-96

Department Approval [Signature] Date 8-16-96

Additional water and/or sewer tap fee(s) are required: YES  NO \_\_\_\_\_ W/O No. 9425

Utility Accounting [Signature] Date 8/16/96

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

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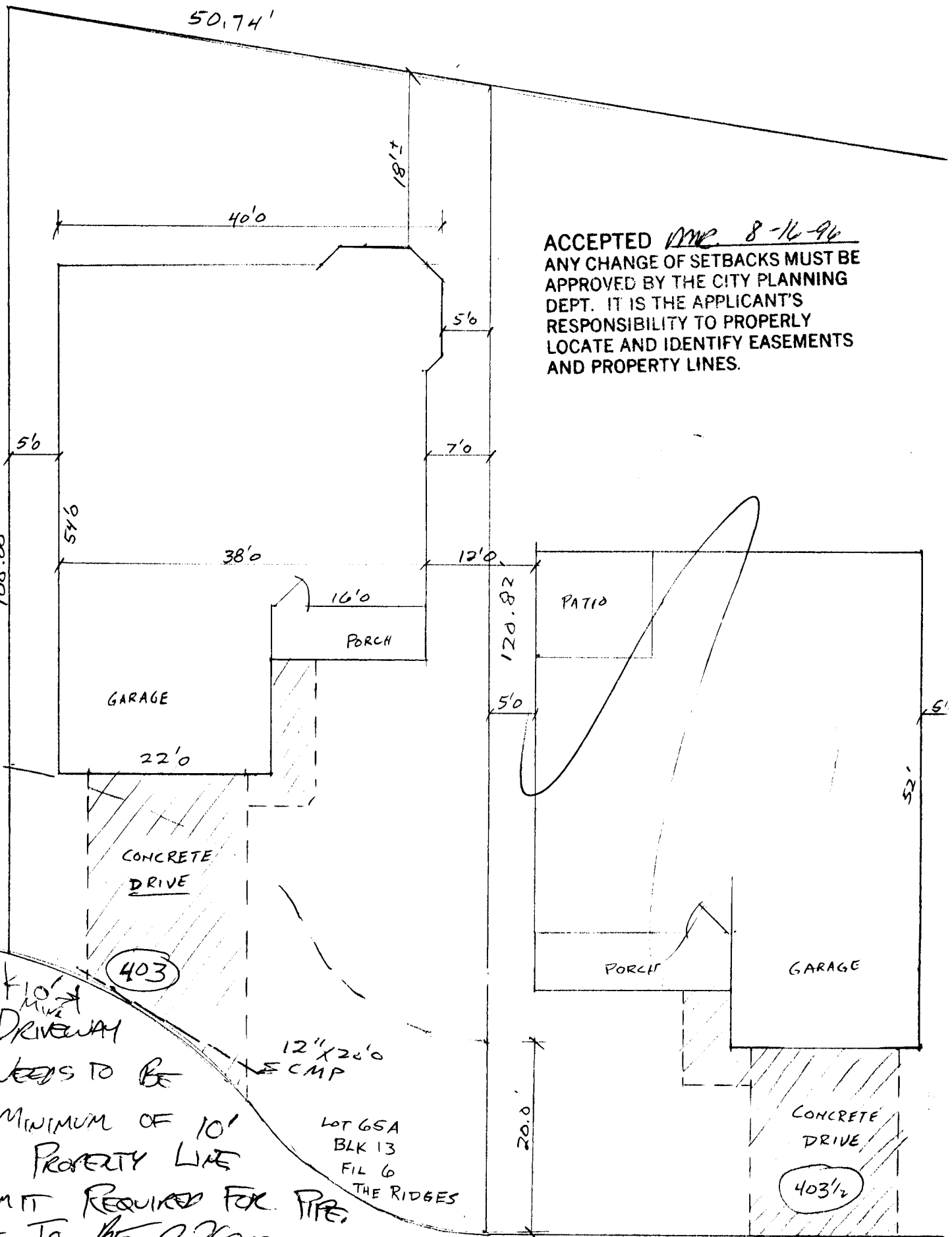
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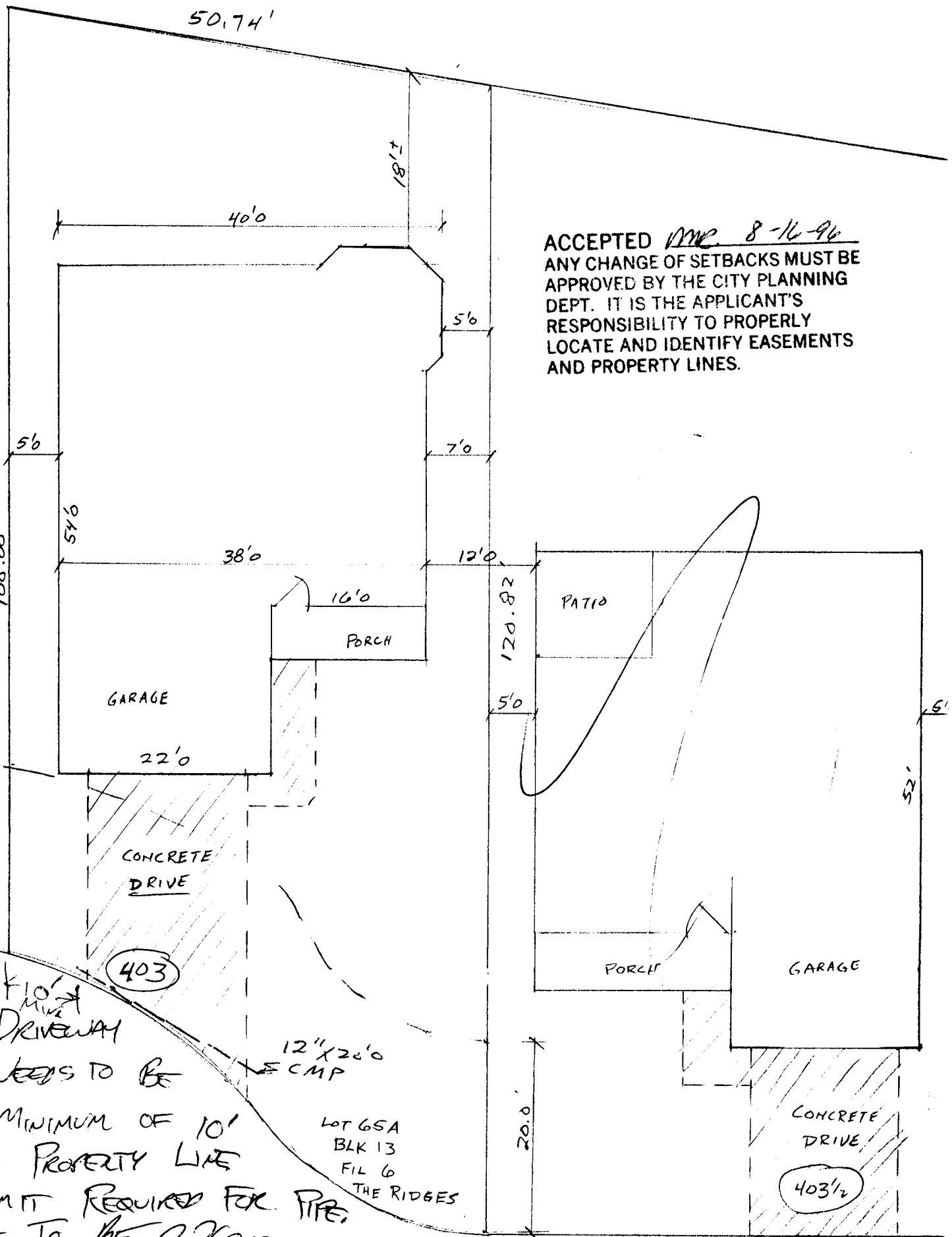


ACCEPTED ME. 8-16-96  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

OK <sup>10'±</sup> <sub>MIN</sub> DRIVEWAY NEEDS TO BE A MINIMUM OF 10' FROM PROPERTY LINE PERMIT REQUIRED FOR PIPE. PERMIT TO BE ISSUED BY WALT HOYT 8-15-96

LOT 65A BLK 13 FIL 6 THE RIDGES

BANA CT.



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LOT 65A  
 BLK 13  
 FIL 6  
 THE RIDGES

12" x 20' CMP

403

403 1/2

**► APPROVAL FOR BUILDING PERMIT ◀**  
**Ridges Architectural Control Committee (ACCO)**

Job No. 403 RANA CT.  
 Builder or Homeowner  
BOOKCLIFF BUILDERS, LTD.  
 Ridges Filing No. 6  
 Block 13 Lot 65A  
 Pages Submitted \_\_\_\_\_  
 Date Submitted 5-8-96

   - Approved  
 NA - Not Approved

**SITE PLAN**

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) _____                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) _____                     |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Square Footage <u>1290 S.F. RANCH STYLE "THE ASHLY"</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks <u>42" FRONT</u>                              |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) <u>16' WIDTH</u>         |
| <input type="checkbox"/> | <input type="checkbox"/> | Drainage <u>SWALE BETWEEN LOTS</u>                      |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping <u>BY OWNER</u>                             |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

**EXTERIOR ELEVATIONS**

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'-0" maximum) <u>15' ±</u>  |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material <u>Asphalt/Fiberglass Shingles</u> Color <u>Tamko Antique BLEND</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color <u>RH 5433M SWAN GRAY</u>  |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material <u>Hardboard Cottage Lap</u> Color <u>5431W (RH) SILVER WING</u>  |
|                          |                          | Material <u>Cedar lap in Gables</u> Color <u>Clear-CWF</u>                          |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony <u>N/A</u>  |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios <u>COVERED FRONT PORCH</u>  |
| <input type="checkbox"/> | <input type="checkbox"/> | Other _____   |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

**APPROVED SUBJECT TO:**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

signature below, builder or owner guarantees that improvements will be constructed as shown on this form and building plans that were submitted, including plot plan, landscape plan, and \_\_\_\_\_

RIDGES Architectural Control Committee  
 By [Signature]  
 By [Signature]  
[Signature]

**APPROVED Ridges Architectural Control Committee**  
 Builder/Realtor/Homeowner  
 By [Signature]  
 Date 5-8-96  
[Signature]

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Multiple Copies: Please Type or Press Firmly With Ball Point Pen

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Green-Inspector  
Pink-Street Supt.

CITY OF GRAND JUNCTION  
250 North Fifth Street  
Grand Junction, Colo. 81501

4478  
Department of Public Works  
Engineering Division  
Phone (303) 244-1555  
Fax (303) 244-1599

PERMIT FOR CONSTRUCTION AND INSTALLATION OF FACILITIES IN PUBLIC RIGHT OF WAY

Contractor

Company BOOKCLIFF BUILDERS, LTD.  
Concrete Curbing/Sidewalk License No. 2960148  
Address 316 Cedar St.  
City Grand Junction State Co. Zip Code 81503  
Application Date 8-21-96  
Date Work to Begin 8-26-96  
Anticipated Completion Date 8-30-96

(Water Conservancy Districts Exempt)

Permit Fee  
Curbing/Sidewalk Permit (\$20) \$60  
Pavement Cut/Excavation Permit (\$50) \$60  
Plus \$0.05 per linear foot of trench over 100' in length \$  
Other \$  
Total Permit Fees \$ NC

Responsible Charge

RANDY L. COOK 242-2212  
Responsible Construction Supervisor Phone No.  
LISA COOK 243-8758  
Alternate Responsible Person Phone No.  
RANDY COOK 242-2212  
After Working Hours Contact Phone No.

Job Location(s)

403 Rana Ct.  
Street Address/Location(s)

The Ridger Filing Co  
Subdivision Name (if known)

Type of Work  1 Remove Existing  2 Repair Existing  3 Replace Existing  4 New Installation  
 1 2 3 4 Sanitary Sewer  1 2 3 4 Irrigation  1 2 3 4 Driveway  1 2 3 4 Underground Power  Main Line  
 1 2 3 4 Storm Sewer  1 2 3 4 Curb & Gutter  1 2 3 4 Telephone  1 2 3 4 Gas  Service Line  
 1 2 3 4 Water  1 2 3 4 Sidewalk  1 2 3 4 Cable T.V.  1 2 3 4 Other culvert

Estimated Quantities

Curb, Gutter & Sidewalk \_\_\_\_\_ Lineal Feet  
Curb & Gutter \_\_\_\_\_ Lineal Feet  
Sidewalk \_\_\_\_\_ Lineal Feet  
Driveway Section \_\_\_\_\_ Square Yards  
Drain Pan \_\_\_\_\_ Lineal Feet  
Excavation Volume \_\_\_\_\_ Cubic Yards  
Sidewalk Crossing Drain \_\_\_\_\_ Each  
Storm Drain Inlet \_\_\_\_\_ Each  
Asphalt Pavement \_\_\_\_\_ Square Yards  
Concrete Pavement \_\_\_\_\_ Square Yards  
Other 12" X 20' CMP  
Type of Backfill NATIVE

Requirements

(To Be Completed By City)

Testing Requirements\*\*

Yes No  
  Performance Guaranty  
  Traffic Control Plan  
  Pedestrian Safety Plan  
  Inspection of Concrete Forms & Base  
  Inspection of Facilities Prior to Back-Fill  
  Inspection of Subgrade After Back-Fill  
  Final Inspection Upon Completion of Work  
  Community Development Department Approval \*  
  End of day surface restoration required. (Surfacing material to be used \_\_\_\_\_ )

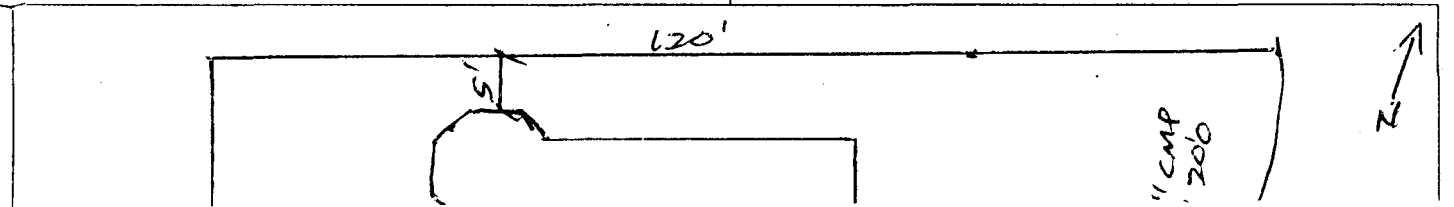
Backfill Compaction Test(s) AASHTO T-99  
 Roadbase Compaction Test(s) AASHTO T-180  
 Bituminous Pavement Compaction Test(s) AASHTO T-230  
 Concrete Slump/Air Test(s) AASHTO T-119, T-152  
 Concrete Compressive Strength AASHTO T-22, T-23  
 Other Testing: \_\_\_\_\_

\* Community Development Department approval required for new or changed access to all streets except residential.  
\*\* All compliance testing shall be performed by a qualified independent laboratory. Frequency of testing shall be in accordance with city specifications.

In accepting this permit the undersigned, representing the Permittee, verifies that he has read and understands all the provisions and requirements of this permit, that he has authority to sign for and bind the Permittee; and by virtue of his signature the Permittee is bound by and agrees to comply with all City ordinances, standards and specifications regulating construction.

Contractor \_\_\_\_\_  
Permit Valid For 6 Months From Date Issued

Preconstruction Inspection by: \_\_\_\_\_ Date 8-26-96  
Public Works Permit Approval by: \_\_\_\_\_ Date  
Community Development Approval by: \_\_\_\_\_ Date  
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