

FEE \$ 10<sup>00</sup>  
TCP \$ 500<sup>00</sup>

BLDG PERMIT NO. 57336

**PLANNING CLEARANCE**  
(Single Family Residential and Accessory Structures)  
**Grand Junction Community Development Department**

*✓*  
TCP

**THIS SECTION TO BE COMPLETED BY APPLICANT**

BLDG ADDRESS 402 1/2 RANA CT. TAX SCHEDULE NO. 2945-174-30-071  
SUBDIVISION The Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1220  
FILING 6 BLK 13 LOT 71A SQ. FT. OF EXISTING BLDG(S) NONE  
(1) OWNER BOOKCLIFF BUILDERS, LTD. NO. OF DWELLING UNITS  
BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(1) ADDRESS 316 Cedar St  
(1) TELEPHONE 242-2212 NO. OF BLDGS ON PARCEL  
BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(2) APPLICANT BOOKCLIFF BUILDERS, LTD. USE OF EXISTING BLDGS NONE  
(2) ADDRESS 316 Cedar St DESCRIPTION OF WORK AND INTENDED USE: NEW  
(2) TELEPHONE 242-2212 SINGLE FAMILY RESIDENCE

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE PR 4 Maximum coverage of lot by structures \_\_\_\_\_  
SETBACKS: Front 20' from property line (PL) Parking Req'mt \_\_\_\_\_  
or \_\_\_\_\_ from center of ROW, whichever is greater  
Special Conditions \_\_\_\_\_  
Side 10' from PL Rear 10' from PL  
Maximum Height \_\_\_\_\_  
CENS.T. 1401 T.ZONE 96 ANN#

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 8-1-96

Department Approval [Signature] Date 8/28/96

Additional water and/or sewer tap fee(s) are required: YES X NO \_\_\_\_\_ W/O No. 9466

Utility Accounting [Signature] Date 8-28-96

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

FEE \$ 10<sup>00</sup>  
TCP \$ 500<sup>00</sup>

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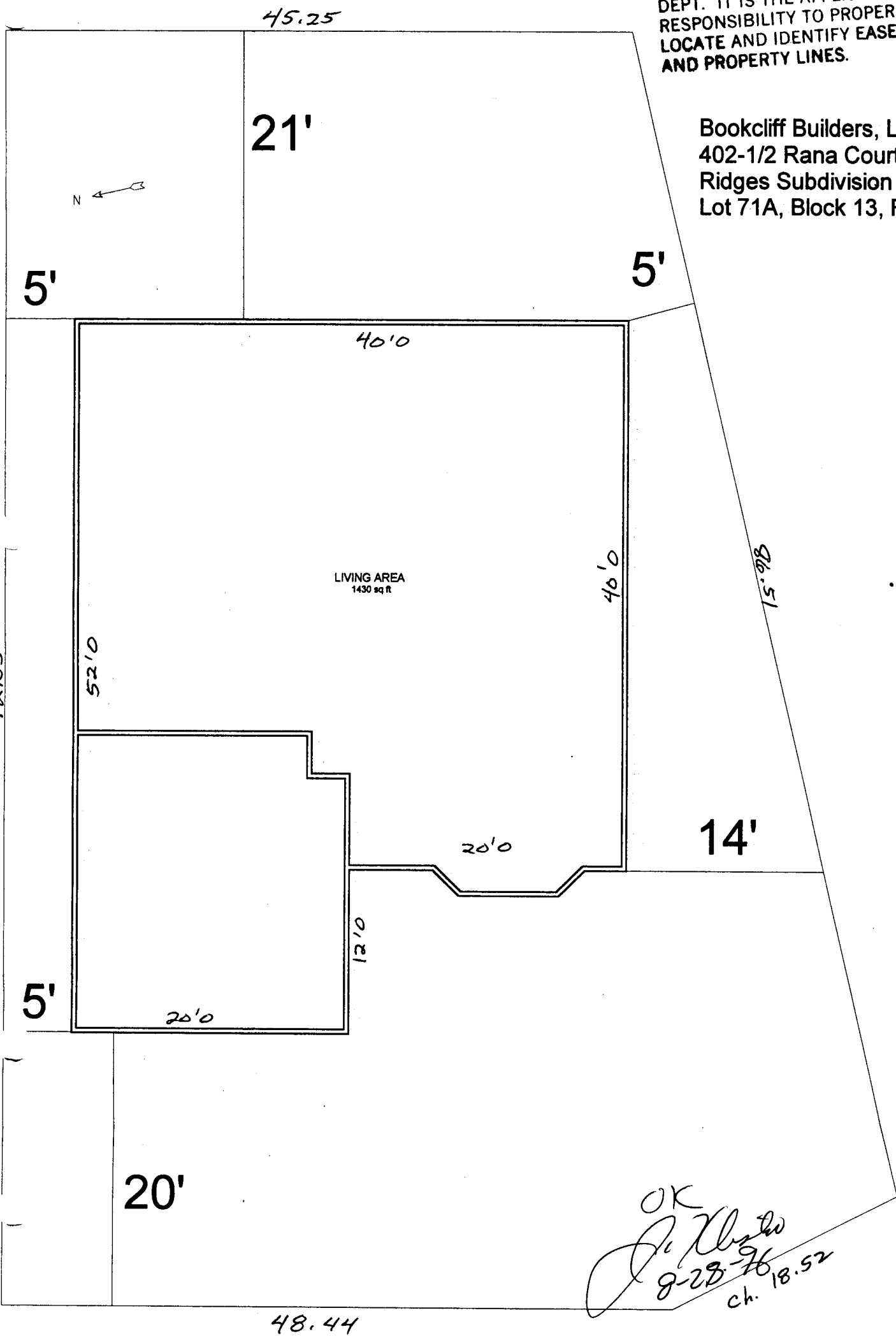
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ACCEPTED *SLC 8/28/96*  
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

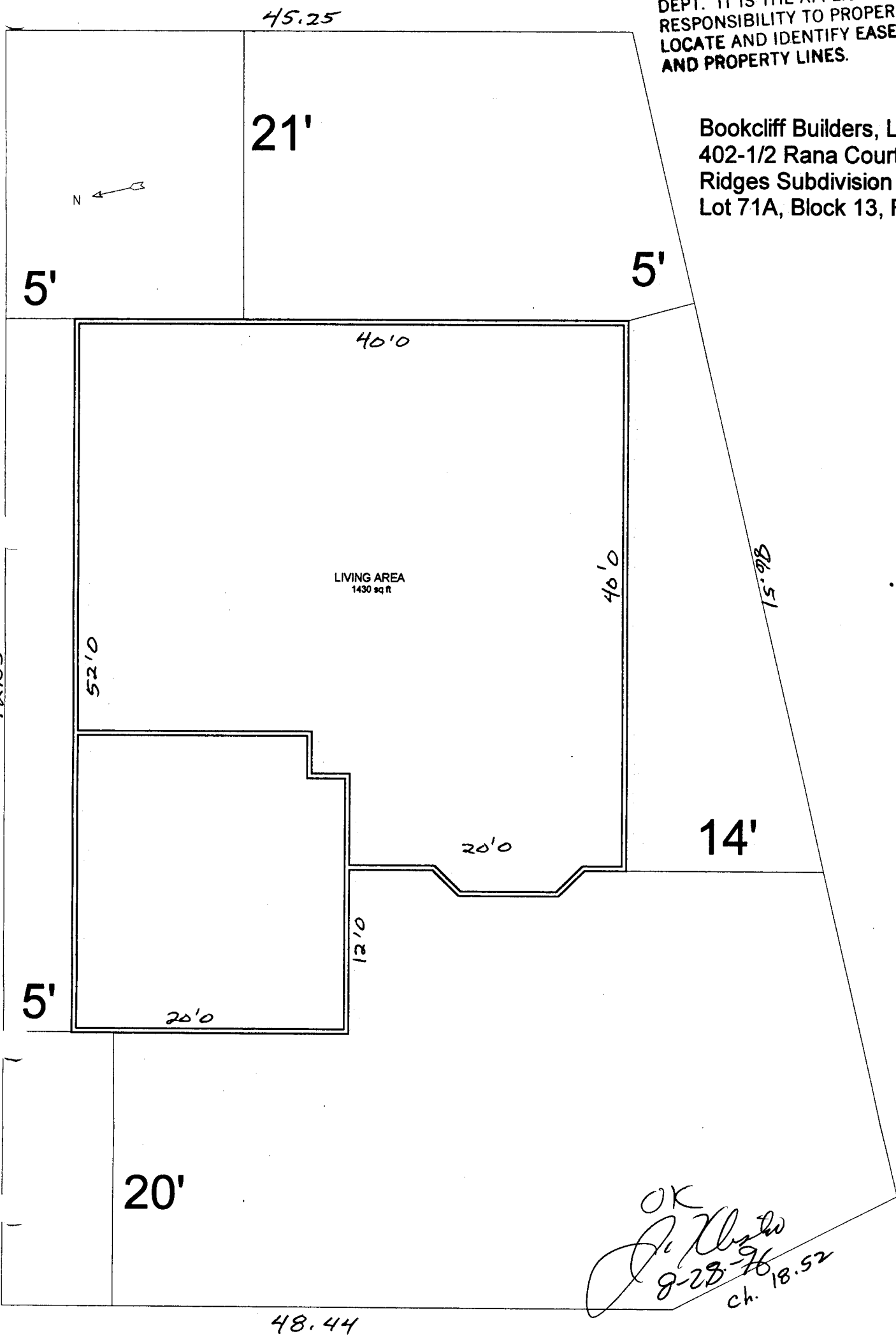
Bookcliff Builders, Ltd.  
402-1/2 Rana Court  
Ridges Subdivision  
Lot 71A, Block 13, Filing 6



OK  
*[Signature]*  
8-28-96  
ch. 18.52

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Bookcliff Builders, Ltd.  
402-1/2 Rana Court  
Ridges Subdivision  
Lot 71A, Block 13, Filing 6



92.83

45.25

21'

5'

5'

40'0

LIVING AREA  
1430 sq ft

52'0

40'0

46.51

20'0

14'

5'

20'0

12'0

20'

48.44

OK  
*[Signature]*  
8-28-96  
ch. 18.52

Multiple Copies: Please Type or Press Firmly With Ball Point Pen

4479

CITY OF GRAND JUNCTION  
250 North Fifth Street  
Grand Junction, Colo. 81501

Department of Public Works  
Engineering Division  
Phone (303) 244-1555  
Fax (303) 244-1599

Copy Distribution  
White-Contractor  
Tanary-Office File  
Green-Inspector  
Pink-Street Supt.

PERMIT FOR CONSTRUCTION AND INSTALLATION OF FACILITIES IN PUBLIC RIGHT OF WAY

Contractor

Company BOOKCLIFF BUILDERS, LTD

Concrete Curbing/Sidewalk License No. 2960148

Address 316 Cedar St

City Grand Junction State Co. Zip Code 81503

Application Date 8-21-96

Date Work to Begin 8-26-96

Anticipated Completion Date 8-30-96

(Water Conservancy Districts Exempt)

Permit Fee

Curbing/Sidewalk Permit (\$30) 760 \$ \_\_\_\_\_

Pavement Cut/Excavation Permit (\$50) 60 \$ \_\_\_\_\_

Plus \$2.05 per linear foot of trench over 100' in length \$ \_\_\_\_\_

Other \$ \_\_\_\_\_

Total Permit Fees \$ 800 **NC**

Responsible Charge

Randy L. Cook 242-2212  
Responsible Construction Supervisor Phone No.

LISA COOK 243-8758  
Alternate Responsible Person Phone No.

Randy Cook 242-2212  
After Working Hours Contact Phone No.

Job Location(s)

Street Address/Location(s) 402 1/2 Rana Ct

Subdivision Name (If Known) The Ridge Filing Co

Type of Work	1 Remove Existing	2 Repair Existing	3 Replace Existing	4 New Installation	Utility Work Is
Sanitary Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> Main Line
Storm Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Service Line
Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Irrigation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Driveway	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Telephone	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Cable T.V.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Underground Power	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Gas	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>culvert</u>

Estimated Quantities

Curb, Gutter & Sidewalk	Lineal Feet	Sidewalk Crossing Drain	Each
Curb & Gutter	Lineal Feet	Storm Drain Inlet	Each
Sidewalk	Lineal Feet	Asphalt Pavement	Square Yards
Driveway Section	Square Yards	Concrete Pavement	Square Yards
Drain Pan	Lineal Feet	Other	<u>12" x 30' CMP</u>
Excavation Volume	Cubic Yards	Type of Backfill	<u>Native</u>

Requirements

(To Be Completed By City)

Testing Requirements\*\*

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>Yes No</p> <p><input type="checkbox"/> Performance Guaranty</p> <p><input type="checkbox"/> Traffic Control Plan</p> <p><input type="checkbox"/> Pedestrian Safety Plan</p> <p><input type="checkbox"/> Inspection of Concrete Forms &amp; Base</p> <p><input type="checkbox"/> Inspection of Facilities Prior to Back-Fill</p> <p><input type="checkbox"/> Inspection of Subgrade After Back-Fill</p> <p><input checked="" type="checkbox"/> Final Inspection Upon Completion of Work</p> <p><input checked="" type="checkbox"/> Community Development Department Approval</p> <p><input type="checkbox"/> End of day surface restoration required. (Surfacing material to be used)</p> | <p><u>Drainage shall be conveyed across driveway in a 12" culvert or invert in concrete driveway slab.</u></p> <p><u>CALL for FINAL INSP. After Pipe is in and grading work finished.</u></p> | <p><input type="checkbox"/> Backfill Compaction Test(s) AASHTO T-99</p> <p><input type="checkbox"/> Roadbase Compaction Test(s) AASHTO T-180</p> <p><input type="checkbox"/> Bituminous Pavement Compaction Test(s) AASHTO T-230</p> <p><input type="checkbox"/> Concrete Slump/Air Test(s) AASHTO T-119, T-152</p> <p><input type="checkbox"/> Concrete Compressive Strength AASHTO T-22, T-23</p> <p><input type="checkbox"/> Other Testing: _____</p> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

\* Community Development Department approval required for new or changed access to all streets except residential.

\*\* All compliance testing shall be performed by a qualified independent laboratory. Frequency of testing shall be in accordance with city specifications

In accepting this permit the undersigned, representing the Permittee, verifies that he has read and understands all the provisions and requirements of this permit, that he has authority to sign for and bind the Permittee, and by virtue of his signature the Permittee is bound by and agrees to comply with all City ordinances, standards and specifications regulating construction.

Contractor

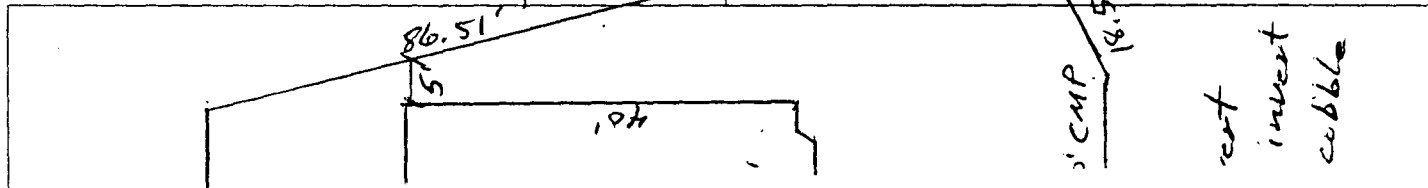
Preconstruction Inspection by: \_\_\_\_\_ Date \_\_\_\_\_

Public Works Permit Approval by: [Signature] Date 8-26-96

Community Development Approval by: [Signature] Date \_\_\_\_\_

Final Inspection by: \_\_\_\_\_ Date \_\_\_\_\_

Permit Valid For 6 Months From Date Issued



Multiple Copies: Please Type or Press Firmly With Ball Point Pen

4479

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Driveway	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Underground Power	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Curb & Gutter	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Telephone	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Gas	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sidewalk	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Cable T.V.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
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		Concrete Pavement	Square Yards
		Other	<u>12" x 30' CMP</u>
		Type of Backfill	<u>Native</u>

Requirements

(To Be Completed By City)

Testing Requirements\*\*

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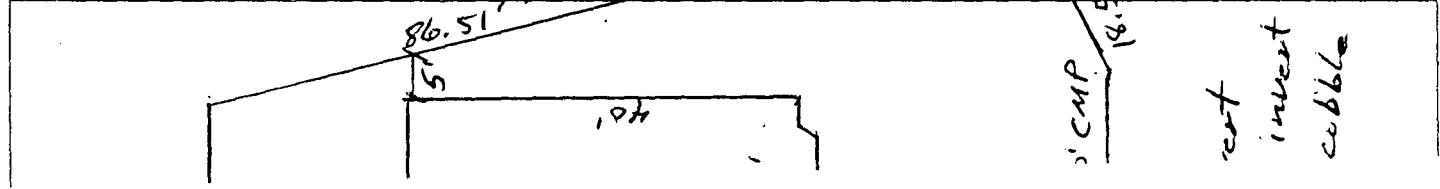
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Permit Valid For 6 Months From Date Issued

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Community Development Approval by: [Signature] Date \_\_\_\_\_

Final Inspection by: \_\_\_\_\_ Date \_\_\_\_\_



**► APPROVAL FOR BUILDING PERMIT ◀**  
**Ridges Architectural Control Committee (ACCO)**

Job No. 402 1/2 Rana CT. "THE FILLMORE"  
 Builder or Homeowner  
BOOKCLIFF BUILDERS  
 Ridges Filing No. 6  
 Block 13 Lot 71A  
 Pages Submitted \_\_\_\_\_  
 Date Submitted 8-7-96

A - Approved  
 NA - Not Approved

**SITE PLAN**

- |                          |                          |                                                       |
|--------------------------|--------------------------|-------------------------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) _____                  |
| <input type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) _____                   |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Square Footage <u>1220</u>                            |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks <u>42"</u>                                  |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) <u>Concrete</u>        |
| <input type="checkbox"/> | <input type="checkbox"/> | Drainage _____                                        |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping <u>By OWNER</u>                           |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

**EXTERIOR ELEVATIONS**

- |                          |                          |                                                                            |
|--------------------------|--------------------------|----------------------------------------------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'-0" maximum) <u>16'</u>                                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material <u>Asphalt/Fiberglass</u> Color <u>Aspen Gray</u>          |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color <u>KH 8614 M Shade Tree</u>                                   |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material <u>Cottage Lap</u> Color <u>KH 8620W Silver Sage</u>     |
|                          | <input type="checkbox"/> | Material <u>Cedar Lap Gables</u> Color <u>NATURAL</u>                      |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color <u>Robinson Brick Company</u> <u>TAOS SKY</u>                |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____                                                        |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony _____                                                              |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios <u>Painted to match Body RAILING BETWEEN BRICK COLS.</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Other <u>COVERED PATIO</u>                                                 |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

**APPROVED SUBJECT TO:**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

**APPROVED** Ridges Architectural

I, Builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee  
 By \_\_\_\_\_  
 By \_\_\_\_\_

Builder/Realtor/Homeowner  
 By [Signature]  
 Date 8-7-96

**► APPROVAL FOR BUILDING PERMIT ◀**  
**Ridges Architectural Control Committee (ACCO)**

Job No. 402 1/2 Rana CT. "THE FILLMORE"  
 Builder or Homeowner  
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 Ridges Filing No. 6  
 Block 13 Lot 71A  
 Pages Submitted \_\_\_\_\_  
 Date Submitted 8-7-96

A - Approved  
 NA - Not Approved

**SITE PLAN**

- |                          |                          |                                                 |                 |
|--------------------------|--------------------------|-------------------------------------------------|-----------------|
| <input type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum)                  | _____           |
| <input type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum)                   | _____           |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) | _____           |
| <input type="checkbox"/> | <input type="checkbox"/> | Square Footage                                  | <u>1220</u>     |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks                                       | <u>42"</u>      |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete)                  | <u>Concrete</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Drainage                                        | _____           |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping                                     | <u>By OWNER</u> |

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**EXTERIOR ELEVATIONS**

- |                          |                          |                         |                                                          |
|--------------------------|--------------------------|-------------------------|----------------------------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'-0" maximum) | <u>16'</u>                                               |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material         | <u>Asphalt/Fiberglass</u> Color <u>Aspen Gray</u>        |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color            | <u>KH 8614 M Shade Tree</u>                              |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material       | <u>Cottage Lap</u> Color <u>KH 8620W Silver Sage</u>     |
|                          |                          | Material                | <u>Cedar Lap Gables</u> Color <u>NATURAL</u>             |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color           | <u>Robinson Brick Company</u> - <u>TAOS SKY</u>          |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color           | _____                                                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony                 | _____                                                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios       | <u>Painted to match Body RAILING BETWEEN BRICK COLS.</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Other                   | <u>COVERED PATIO</u>                                     |

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 By \_\_\_\_\_  
 By \_\_\_\_\_

Builder/Realtor/Homeowner  
 By [Signature]  
 Date 8-7-96



