

FEE \$	10 ⁰⁰
TCP \$	500 ⁰⁰

BLDG PERMIT NO. 55209

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
 Grand Junction Community Development Department

✓ 5/1

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 403 1/2 RANA CT. TAX SCHEDULE NO. 2945-174-30-064
 SUBDIVISION The Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1220
 FILING 6 BLK 13 LOT 64A SQ. FT. OF EXISTING BLDG(S) None
 (1) OWNER BOOKCLIFF BUILDERS, LTD NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 316 Cedar St G.J. 81523
 NO. OF BLDGS ON PARCEL
 (1) TELEPHONE 242-2212 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (2) APPLICANT _____ USE OF EXISTING BLDGS None
 (2) ADDRESS _____ DESCRIPTION OF WORK AND INTENDED USE: _____
 (2) TELEPHONE SAME New Single Family Residence

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR Maximum coverage of lot by structures _____
 SETBACKS: Front 20' from property line (PL) Parking Req't _____
 or _____ from center of ROW, whichever is greater
 Side 5' from PL Rear 10' from PL Special Conditions 10' btwn. bldgs. min.
 Maximum Height 25'
 CENS.T. 14 T.ZONE 96 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

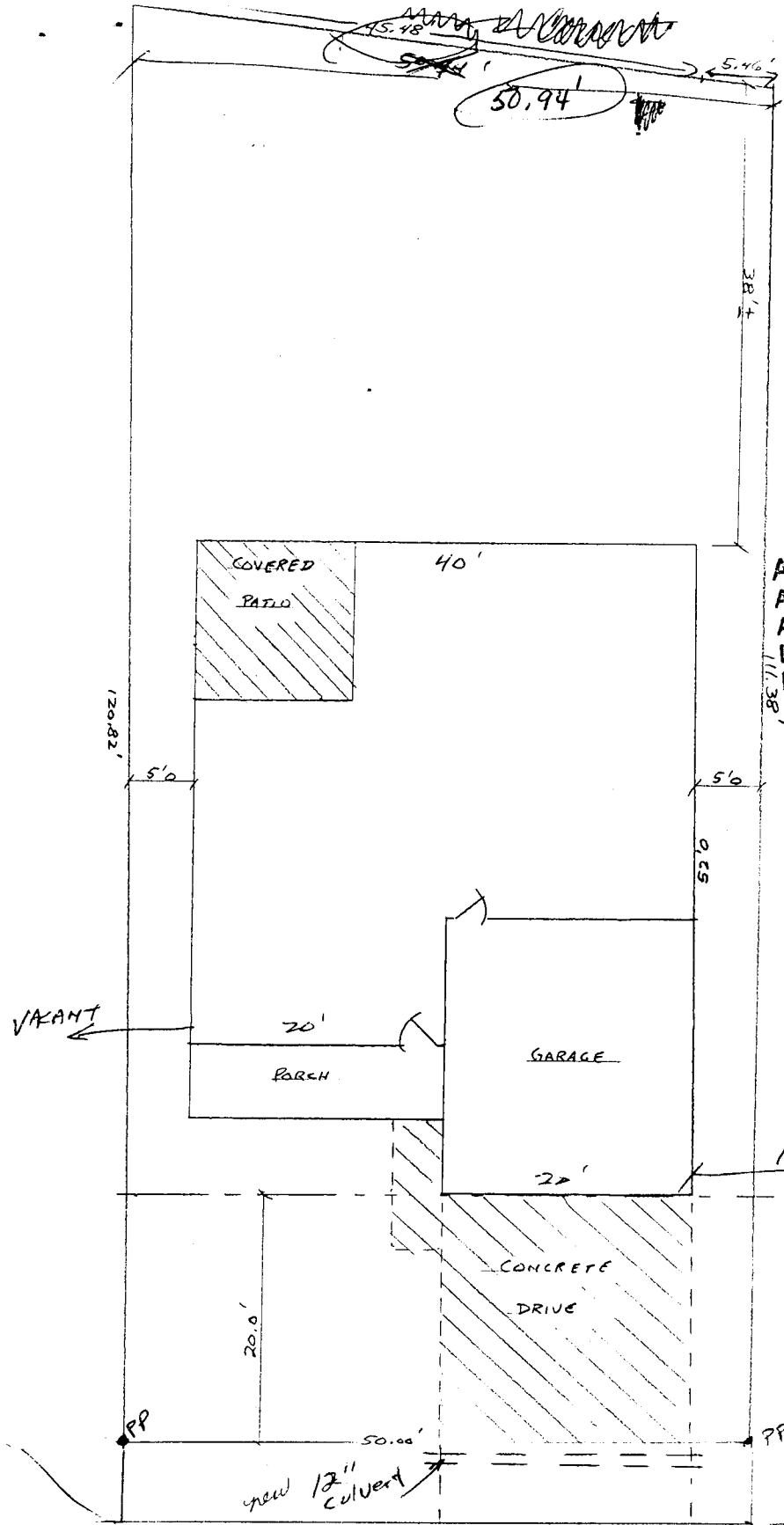
Applicant Signature [Signature] Date 2-20-96
 Department Approval KP - Ronnie Edwards Date 2-28-96

Additional water and/or sewer tap fee(s) are required: YES X NO _____ W/O No. 8980

Utility Accounting [Signature] Date 2/28/96

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



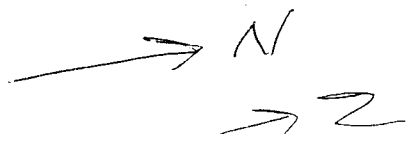
ACCEPTED *Ronnie 2/28/96*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

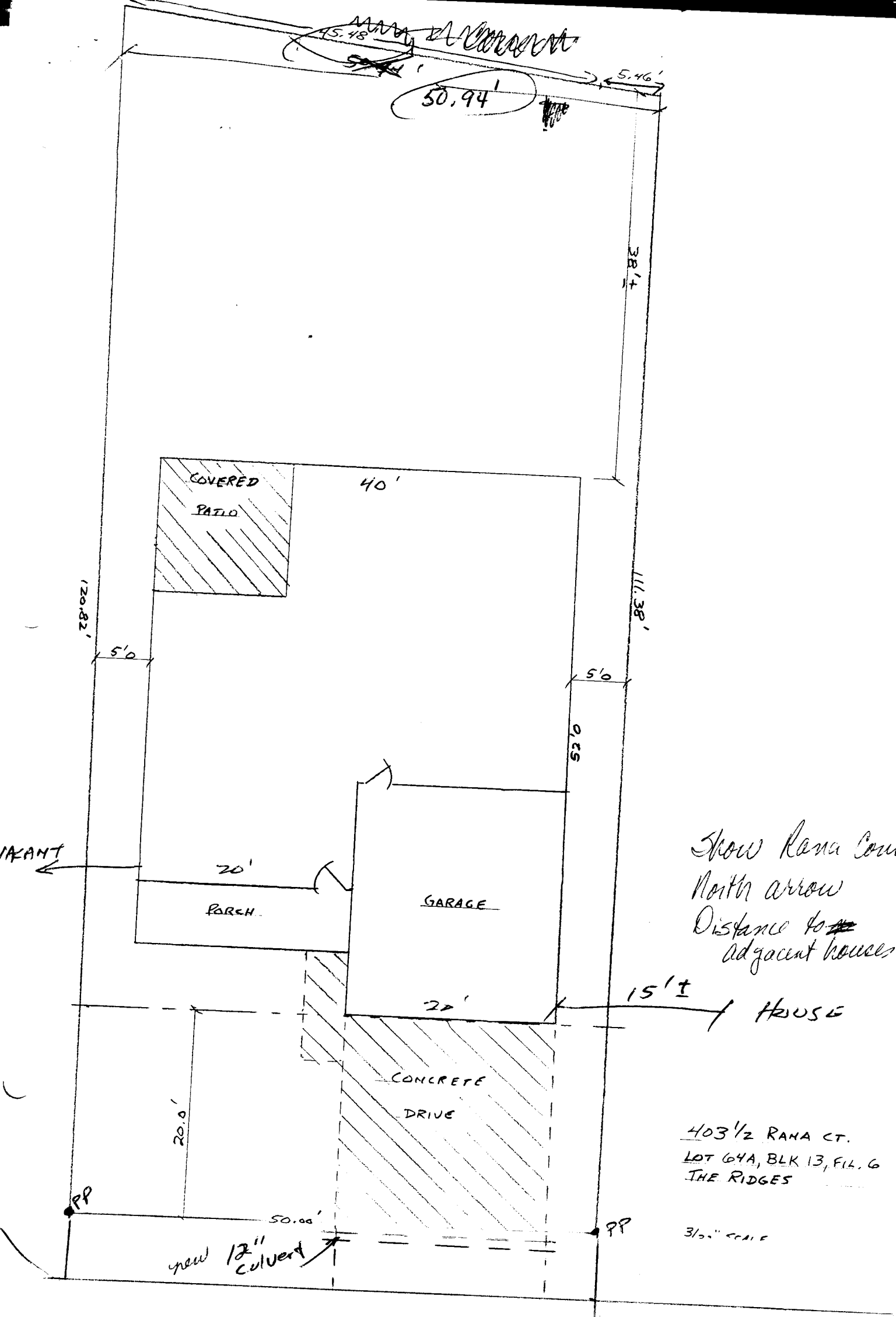
Show Rana Court
 North arrow
 Distance to ~~the~~ adjacent houses.

403 1/2 RANA CT.
 LOT 64A, BLK 13, FIL. G
 THE RIDGES
 3/16" SCALE

403 1/2 Rana Ct.

Driveway Location OK
 Need to get a permit
 for culvert installation
J. Ron Houston
 2-28-96





Show Rana Court
 North arrow
 Distance to ~~the~~
 adjacent houses.

15'± / HOUSE

403 1/2 RANA CT.
 LOT 64A, BLK 13, FILE 6
 THE RIDGES

3/16" SCALE

403 1/2 Rana Ct.

