

FEE \$ 10.00
TCP \$ 500.00

BLDG PERMIT NO. 54645

30283960

top pc

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Grand Junction Community Development Department

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 2574 Ranch Crt TAX SCHEDULE NO. 2701-344-00-177
 SUBDIVISION Wilson Ranch SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1900
 FILING 4 BLK 2 LOT 7 SQ. FT. OF EXISTING BLDG(S) _____
 (1) OWNER AIAN ROE NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 2673 Delmar Dr
 NO. OF BLDGS ON PARCEL
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) TELEPHONE 243-4070 260-1606
 USE OF EXISTING BLDGS Single Family
 (2) APPLICANT AIAN ROE DESCRIPTION OF WORK AND INTENDED USE: Single
 (2) ADDRESS 2673 Delmar Dr Family
 (2) TELEPHONE 243-4070 260-1606

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR-4.4 Maximum coverage of lot by structures _____
 SETBACKS: Front 25' from property line (PL) Parking Req'mt _____
 or _____ from center of ROW, whichever is greater
 Side 10' from PL Rear 20' from PL Special Conditions ACCO approval
 Maximum Height 35' required
 CENS.T. 10 T.ZONE 18 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Aian Roe Date 1/3/96
 Department Approval Marcia Babidany Date 1-4-96

Additional water and/or sewer tap fee(s) are required: YES NO _____ W/O No. 8851 5-F
 Utility Accounting CM Cole Date 1-5-96

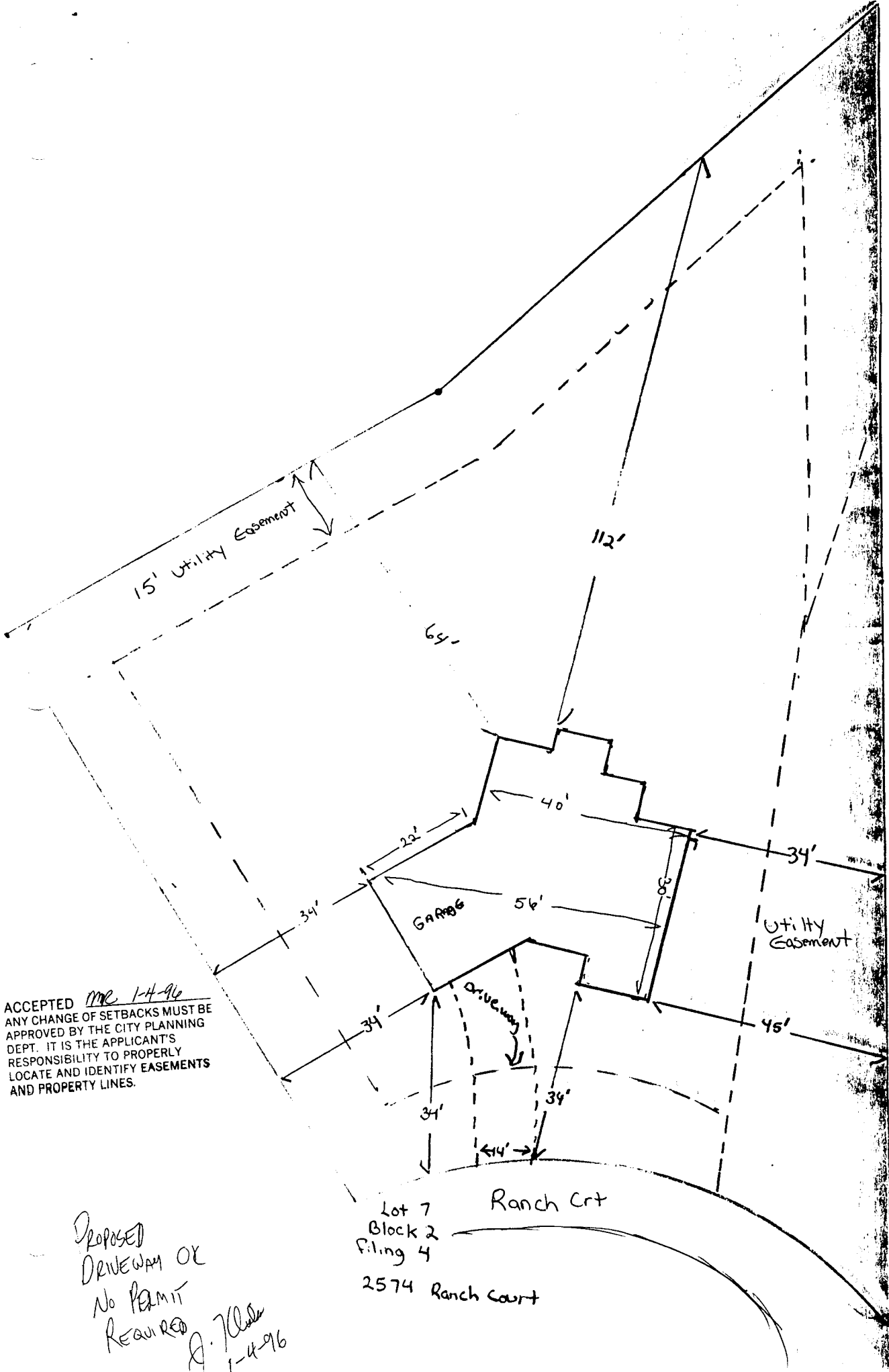
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

ACCEPTED *MC 1-4-96*
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

*Proposed DRIVEWAY OK
No PERMIT REQUIRED
A. J. Clark
1-4-96*

Lot 7
Block 2
Filing 4
2574 Ranch Court



ACCEPTED
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

Donnie 3/15/96

Revised
O/kay

15' Utility Easement

112'

64'

16'

40'

GARAGE

56'

Utility Easement

34'

8'

45'

34'

34'

34'

34'

44'

Ranch Crt

Lot 7
Block 2
Filing 4

2574 Ranch Court

DRIVEWAY

ACCEPTED *MC 1-4-96*
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PROPOSED
DRIVEWAY OK
NO PERMIT
REQUIRED

A. J. Clark
1-4-96