

FEE \$	10.00
TCP \$	-0-

BLDG PERMIT NO. 56044

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
 Grand Junction Community Development Department



THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 543 Rim dr TAX SCHEDULE NO. 2945-083-23-014
 SUBDIVISION South Rim SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2000^{sq} home 1640^{sq} Bus and 576 Gar.
 FILING 3 BLK 1 LOT 14 SQ. FT. OF EXISTING BLDG(S) None
 (1) OWNER Alan + Crystal Hart NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 2410 Bday 81503 NO. OF BLDGS ON PARCEL BEFORE: _____ AFTER: _____ THIS CONSTRUCTION
 (1) TELEPHONE 241-4458 USE OF EXISTING BLDGS NA
 (2) APPLICANT Marsh Custom Homes DESCRIPTION OF WORK AND INTENDED USE: New Construction Single Fam. w/ Res.
 (2) ADDRESS 192 Edlun M.S. CO 81503
 (2) TELEPHONE 245 1338

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR-3.5 Maximum coverage of lot by structures _____
 SETBACKS: Front 25' from property line (PL) or _____ from center of ROW, whichever is greater Parking Req'mt 2
 Side 10' from PL Rear 20' from PL Special Conditions ACCC approval required
 Maximum Height _____ CENS.T. 14 T.ZONE 91 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Shawn J. Marsh Date May 1 1996
 Department Approval Maria Babidany Date 5-6-96

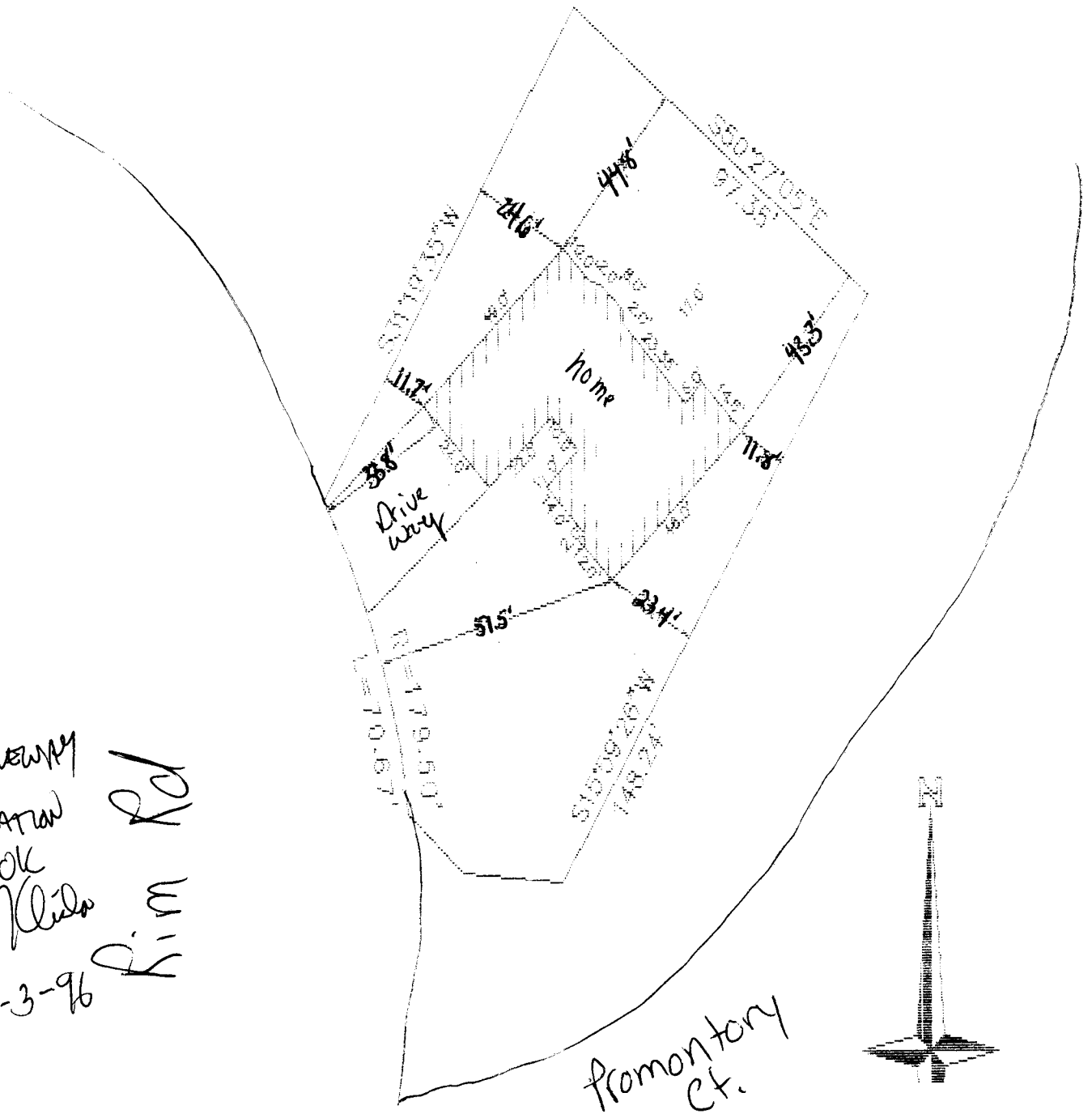
Additional water and/or sewer tap fee(s) are required: YES _____ NO W/O No. 9184
 Utility Accounting Marshall Cole Date 5/6/96

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

543 Kim
Filing 3 Blk 1 Lot 14

ACCEPTED ME. 5-4-94
ANY CHANGE OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPT. IT IS THE APPLICANT'S
RESPONSIBILITY TO PROPERLY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES.



DRIVEWAY
LOCATION
OK
J. Klido
5-3-96
Kim Rd

Promontory
Ct.