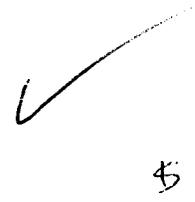


FEE \$ 10<sup>00</sup>  
TCP \$ 0

BLDG PERMIT NO. 57785

**PLANNING CLEARANCE**  
(Single Family Residential and Accessory Structures)  
Grand Junction Community Development Department



**THIS SECTION TO BE COMPLETED BY APPLICANT**

BLDG ADDRESS 312 Rimrock Court TAX SCHEDULE NO. 2445-302-09-005  
SUBDIVISION Monument Valley #5 SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1825  
FILING 5 BLK 3 LOT 5 SQ. FT. OF EXISTING BLDG(S) —  
(1) OWNER Jim Gardner NO. OF DWELLING UNITS  
BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(1) ADDRESS Hilton Hotel  
(1) TELEPHONE work 248-7693 NO. OF BLDGS ON PARCEL  
BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(2) APPLICANT Rivers Edge Builders, Inc. USE OF EXISTING BLDGS Residential  
(2) ADDRESS 2467 Cimarron Dr. DESCRIPTION OF WORK AND INTENDED USE: New  
(2) TELEPHONE 248-3516 CONSTRUCTION

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE PR 1.8 Maximum coverage of lot by structures \_\_\_\_\_  
SETBACKS: Front 40' from property line (PL) Parking Req'mt \_\_\_\_\_  
or \_\_\_\_\_ from center of ROW, whichever is greater Special Conditions \_\_\_\_\_  
Side 35' from PL Rear 35' from PL  
Maximum Height \_\_\_\_\_  
CENSUS TRACT 1401 TRAFFIC ZONE 64

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 10/11/96

Department Approval [Signature] Date 10/2/96

Additional water and/or sewer tap fee(s) are required: YES X NO \_\_\_\_\_ W/O No. 9550

Utility Accounting [Signature] Date 10/2/96

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

PERMIT FOR ACCESS OR SURFACE ALTERATION WITHIN PUBLIC RIGHT OF WAY

Copy Distribution  
 White-Contractor  
 Canary-Office File  
 Green-Inspector  
 Pink-Street Supt.

CITY OF GRAND JUNCTION  
 250 North Fifth Street  
 Grand Junction, CO 81501

Department of Public Works  
 Engineering Division  
 Phone (970) 244-1555  
 Fax (970) 244-1599

4587

Application For:  Access  Surface Alteration

Company Rivers Edge Builders Inc

Concrete Curbing/Sidewalk License No. \_\_\_\_\_

Address 2467 Cimarron Dr.

City Cor. Jct State Colo Zip Code 81505

Application Date 10/2/96

Date Work to Begin 10/10/96

Anticipated Completion Date 11/5/96

Job Address or Location 312 Rimrock Ct.

Responsible Charge

In accepting this permit the undersigned, representing the Permittee, verifies that he has read and understands all the provisions and requirements of this permit; that he has authority to sign for and bind the Permittee; and by virtue of his signature the Permittee is bound by and agrees to comply with all City ordinances, standards and specifications regulating construction.

Chris Carnes 241-4000  
 Responsible Construction Supervisor Phone No.

Alternate Responsible Person Phone No. 241-6080

After Working Hours Contact Phone No. \_\_\_\_\_

Type of Performance/Warranty Guarantee \_\_\_\_\_

In the amount of \_\_\_\_\_

Type of Work  1 Remove Existing  2 Repair Existing  3 Replace Existing  New Installation  If Utility Work

1  2  3  4 Sanitary Sewer  1  2  3  4 Irrigation  1  2  3  4 Driveway  1  2  3  4 Underground Power  Main Line

1  2  3  4 Storm Sewer  1  2  3  4 Curb & Gutter  1  2  3  4 Telephone  1  2  3  4 Gas Driveway  Service Line

1  2  3  4 Water  1  2  3  4 Sidewalk  1  2  3  4 Cable T.V.  1  2  3  Other Culvert

Estimated Quantities

Curb, Gutter & Sidewalk \_\_\_\_\_ Lineal Feet Sidewalk Crossing Drain \_\_\_\_\_ Each

Curb & Gutter \_\_\_\_\_ Lineal Feet Storm Drain Inlet \_\_\_\_\_ Each

\_\_\_\_\_ Sidewalk \_\_\_\_\_ Lineal Feet Asphalt Pavement \_\_\_\_\_ Square Yards

Driveway Section \_\_\_\_\_ Square Yards Concrete Pavement \_\_\_\_\_ Square Yards

Drain Pan \_\_\_\_\_ Lineal Feet Other \_\_\_\_\_

Excavation Volume \_\_\_\_\_ Cubic Yards Type of Backfill \_\_\_\_\_

Requirements

(To Be Completed By City)

Testing Requirements \*

- Yes No
- Performance Guaranty
  - Traffic Control Plan
  - Pedestrian Safety Plan
  - Inspection of Concrete Forms & Base
  - Inspection of Facilities Prior to Back-Fill
  - Inspection of Subgrade After Back-Fill
  - Final Inspection Upon Completion of Work
  - Community Development Department Approval \*
  - End of day surface restoration required. (Surfacing material to be used \_\_\_\_\_)

- Backfill Compaction Test(s) AASHTO T-99
- Roadbase Compaction Test(s) AASHTO T-180
- Bituminous Pavement Compaction Test(s) AASHTO T-230
- Concrete Slump/Air Test(s) AASHTO T-119, T-152
- Concrete Compressive Strength AASHTO T-22, T-23
- Other Testing: \_\_\_\_\_

\* All compliance testing shall be performed by a qualified independent laboratory. Frequency of testing shall be in accordance with city specifications.

(Water Conservancy Districts Exempt)

Permit Fee

Curbing/Sidewalk/Driveway Permit (\$60) \$ \_\_\_\_\_

Pavement Cut/Excavation Permit (\$60) \$ \_\_\_\_\_

Plus \$0.10 per linear foot of trench over 100' in length \$ \_\_\_\_\_

Other \$ \_\_\_\_\_

Total Permit Fees \$ NC

Contractor Chris Carnes

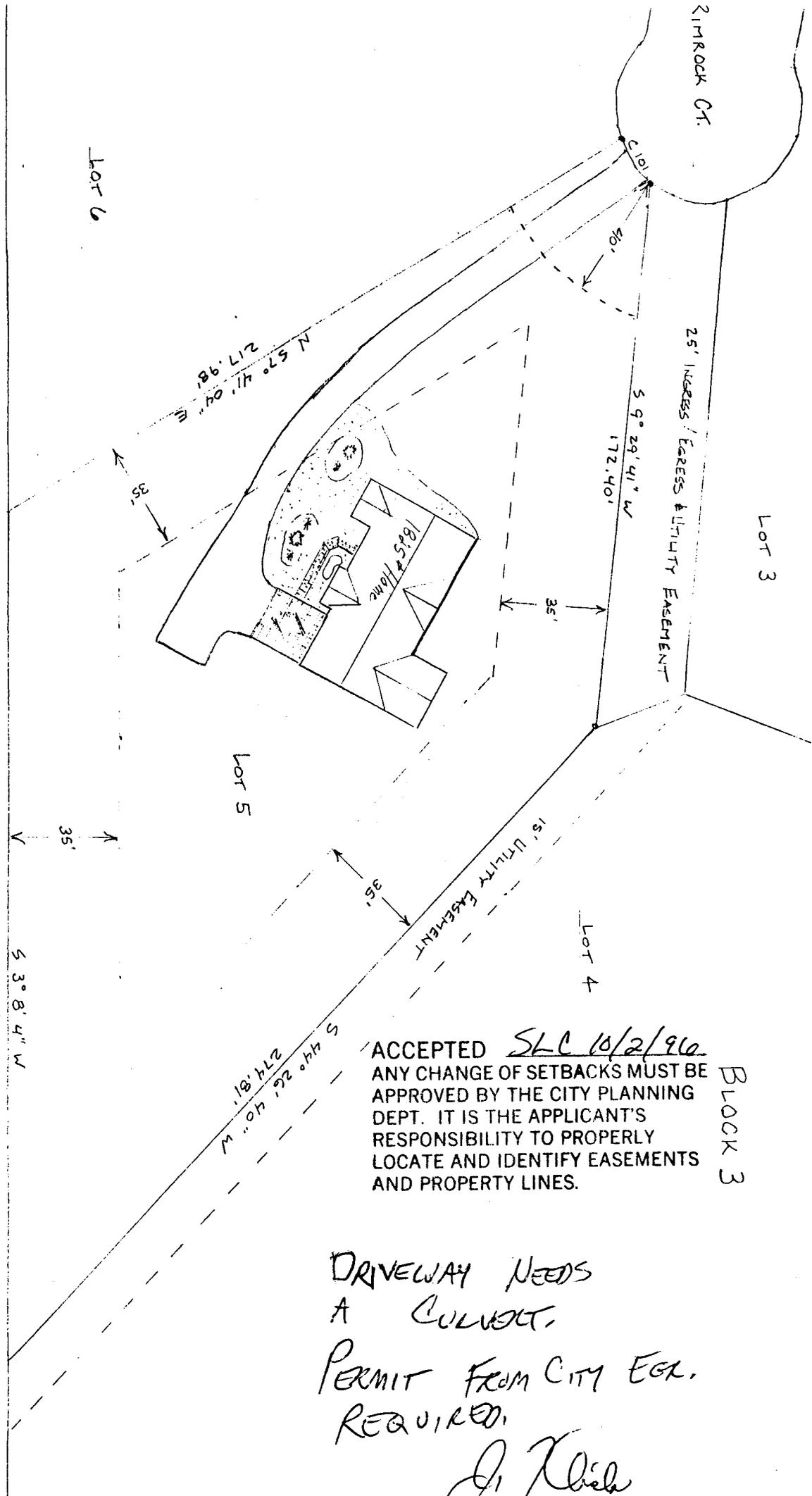
Preconstruction Inspection by: \_\_\_\_\_ Date \_\_\_\_\_

Don Newton 10-2-96  
 Public Works Permit Approval by: \_\_\_\_\_ Date \_\_\_\_\_

Final Inspection by: \_\_\_\_\_ Date \_\_\_\_\_

Surface Alteration Permit Valid For 6 Months From Date Issued

Culvert must be 18" CMP or



SOUTH CAMP RO.

RIMROCK CT.



ACCEPTED SLC 10/2/96  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

BLOCK 3

DRIVEWAY NEEDS A COLLECT.  
 PERMIT FROM CITY EGR. REQUIRED.

*J. Klisch*  
 10-2-96

2945-308-09-005  
 GARDNER RESIDENCE  
 312 RIMROCK CT.  
 LOT 5, BLOCK 3  
 NEAR VALLEY RUNS 5  
 SITE PLAN