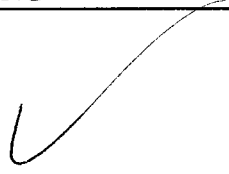


FEE \$	10 ⁰⁰
TCP \$	0

BLDG PERMIT NO. 56606

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
 Grand Junction Community Development Department

5002-9975-01-
 water tap \$ 750⁰⁰



THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 561 Rio Borde Ct TAX SCHEDULE NO. 2945-071-00-036
 SUBDIVISION VIST DEL RIO SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1650
 FILING 1 BLK _____ LOT 5 SQ. FT. OF EXISTING BLDG(S) NA
 (1) OWNER Larry Dangler NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 2839 ALEXINGTON LN
 (1) TELEPHONE 970-241-2556 NO. OF BLDGS ON PARCEL
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (2) APPLICANT Same USE OF EXISTING BLDGS NA
 (2) ADDRESS _____ DESCRIPTION OF WORK AND INTENDED USE: New
 (2) TELEPHONE _____ Home

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR 1.86 Maximum coverage of lot by structures _____
 SETBACKS: Front 25' from property line (PL) Parking Req'mt _____
 or _____ from center of ROW, whichever is greater
 Side 15' from PL Rear 25' from PL Special Conditions All const. must meet the req. of the Subsurface Soils Exploration Report
 Maximum Height _____ CENSUS TRACT 14 TRAFFIC ZONE 90

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

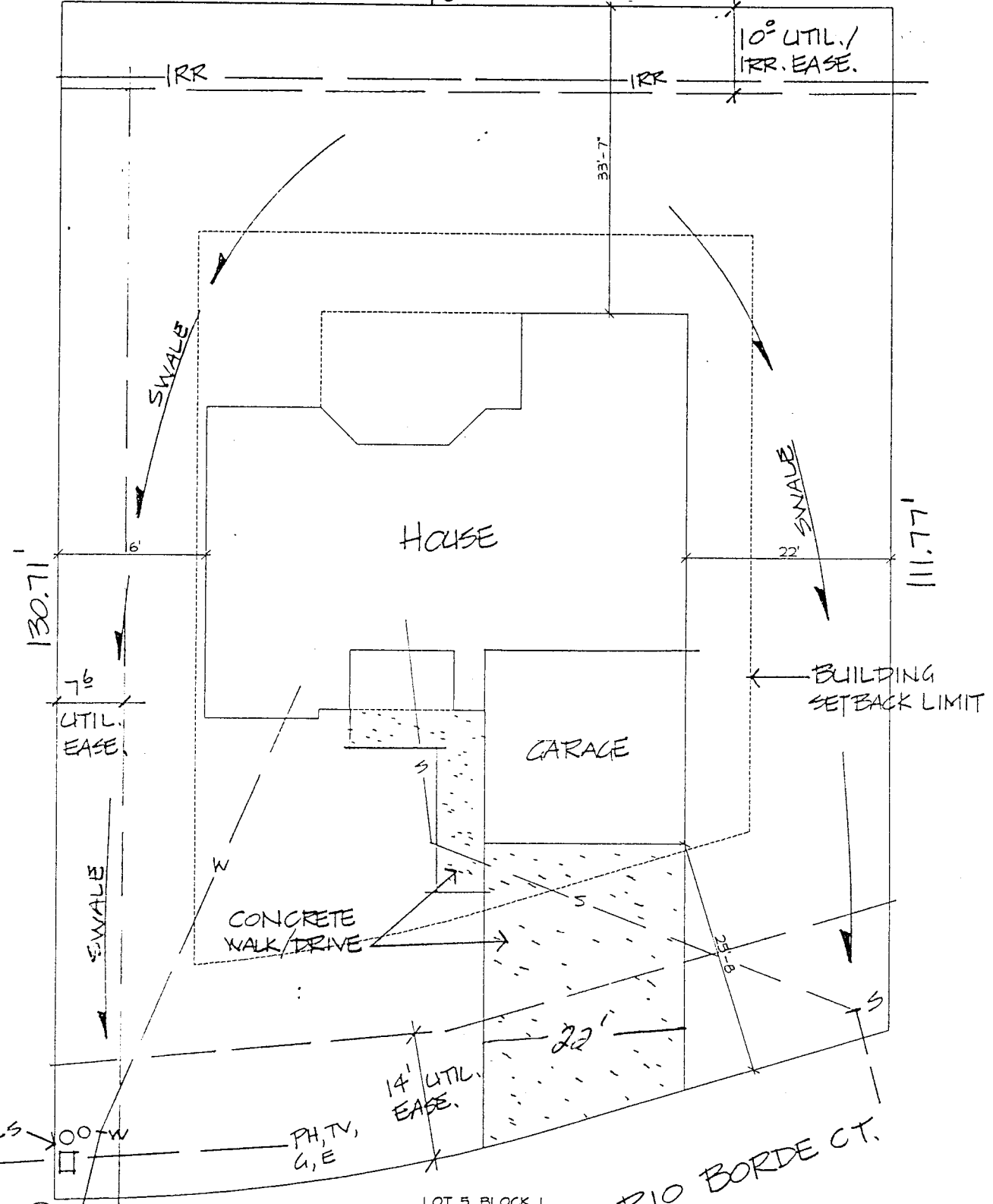
Applicant Signature Larry Dangler Date 6-10-96
 Department Approval Bonnie Edwards Date 6-10-96

Additional water and/or sewer tap fee(s) are required: YES _____ NO _____ W/O No. 9260
 Utility Accounting Attendants Date 6-10-96

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

90.0'



130.71'

111.77'

HOUSE

GARAGE

CONCRETE WALK/DRIVE

BUILDING SETBACK LIMIT

7'6" UTIL. EASE.

14' UTIL. EASE.

UTILITY PEDESTALS

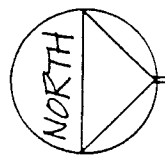
00' W

PH, TV, G, E

LOT 5, BLOCK 1
VISTA DEL RIO SUBDIV.
SCALE: 1"=16'

RIO BORDE CT.

ACCEPTED *Pompe 6/10/96*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY DATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.



SITE PLAN

DRIVEWAY LOCATION OK

A. K. Calder
 6-7-96

561 Rio Borde