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TCP \$	—

BLDG PERMIT NO. 56347

**PLANNING CLEARANCE**  
 (Single Family Residential and Accessory Structures)  
Grand Junction Community Development Department



THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 744 W Wilshire CT TAX SCHEDULE NO. 2701-354-43-014

SUBDIVISION Cambridge SQ. FT. OF PROPOSED BLDG(S)/ADDITION 252

FILING — BLK 4 LOT 10 & 11 SQ. FT. OF EXISTING BLDG(S) 3000

(1) OWNER Edmond Mah NO. OF DWELLING UNITS  
 BEFORE: \_\_\_\_\_ AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 744 W Wilshire CT

(1) TELEPHONE 242-0279 NO. OF BLDGS ON PARCEL  
 BEFORE: \_\_\_\_\_ AFTER: 1 THIS CONSTRUCTION

(2) APPLICANT Les Miller Const USE OF EXISTING BLDGS Home

(2) ADDRESS 2561 Fenton ST DESCRIPTION OF WORK AND INTENDED USE: To  
257 9353

(2) TELEPHONE 242-0279 Add A 12'x21's Car Garage

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR 2.24 Maximum coverage of lot by structures \_\_\_\_\_

SETBACKS: Front 20' from property line (PL) Parking Req'mt \_\_\_\_\_  
 or \_\_\_\_\_ from center of ROW, whichever is greater

Side 5' from PL Rear 10' from PL Special Conditions \_\_\_\_\_

Maximum Height \_\_\_\_\_

CENS.T. 10 T.ZONE 17 ANNEX# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Les Miller Date 5-30-96

Department Approval Ronnie Edwards Date 5-30-96

Additional water and/or sewer tap fee(s) are required: YES \_\_\_\_\_ NO  W/O No. 3021-9360-01-0

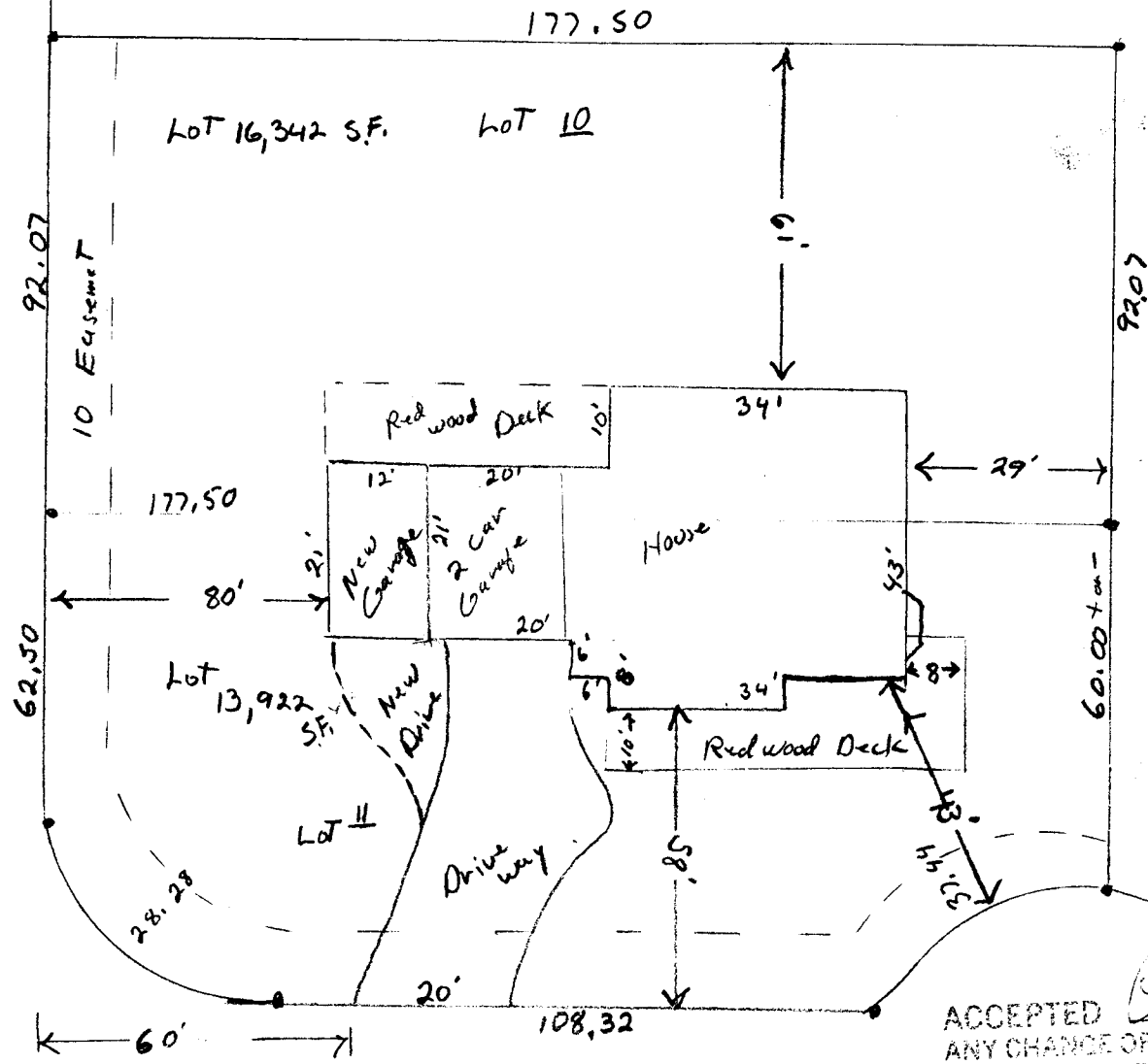
Utility Accounting C. Richardson Date 5/30/96

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

Owner  
 Edmond Mah  
 744 W Wilshire  
 G.J. Co 81506

West Wilshire CT



West Wilshire CT

TAX # 2701-354-43-014

Lot 10 & 11  
 Block 4