

FEE \$	10 <sup>00</sup>
TCP \$	—
DRAINAGE FEE \$	—

BLDG PERMIT NO. 57898
FILE #

### PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)  
 Grand Junction Community Development Department

1001-3430-03-7

\*\*\* THIS SECTION TO BE COMPLETED BY APPLICANT \*\*\*

BLDG ADDRESS 1328 Winters Ave TAX SCHEDULE NO. 2945-242-12-013

SUBDIVISION Boise Cascade SQ. FT. OF PROPOSED BLDG(S)/ADDITION 10x10

FILING — BLK — LOT 7 SQ. FT. OF EXISTING BLDG(S) —

(1) OWNER CARGO, INC. NO. OF DWELLING UNITS BEFORE: — AFTER: — CONSTRUCTION

(1) ADDRESS 1328 WINTERS AVE. NO. OF BLDGS ON PARCEL BEFORE: 2 AFTER: 3 CONSTRUCTION

(1) TELEPHONE ~~243-8750~~ 243-8750 USE OF ALL EXISTING BLDGS manufacture

(2) APPLICANT Tony Pacilla DESCRIPTION OF WORK & INTENDED USE: 10'x10' concrete bldg.

(2) ADDRESS 1328 WINTERS AVE.

(2) TELEPHONE 243-8750

✓ Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

\*\*\* THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF \*\*\*

ZONE I-2 Landscaping / Screening Required: YES — NO —

SETBACKS: Front 25' from Property Line (PL) or 25' from center of ROW, whichever is greater Parking Req'mt —

Side — from PL Rear — from PL Special Conditions: no change in use or employees.

Maximum Height 65' CENS.T. 8 T.ZONE 44 ANNEX # —

Maximum coverage of lot by structures —

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the G.J. Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature Tony Pacilla Date 10-3-96

Department Approval Ronnie Edwards Date 10-3-96

Additional water and/or sewer tap fee(s) are required: YES — NO X W/O No. N/A

Utility Accounting Millie Fowler Date 10-3-96

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

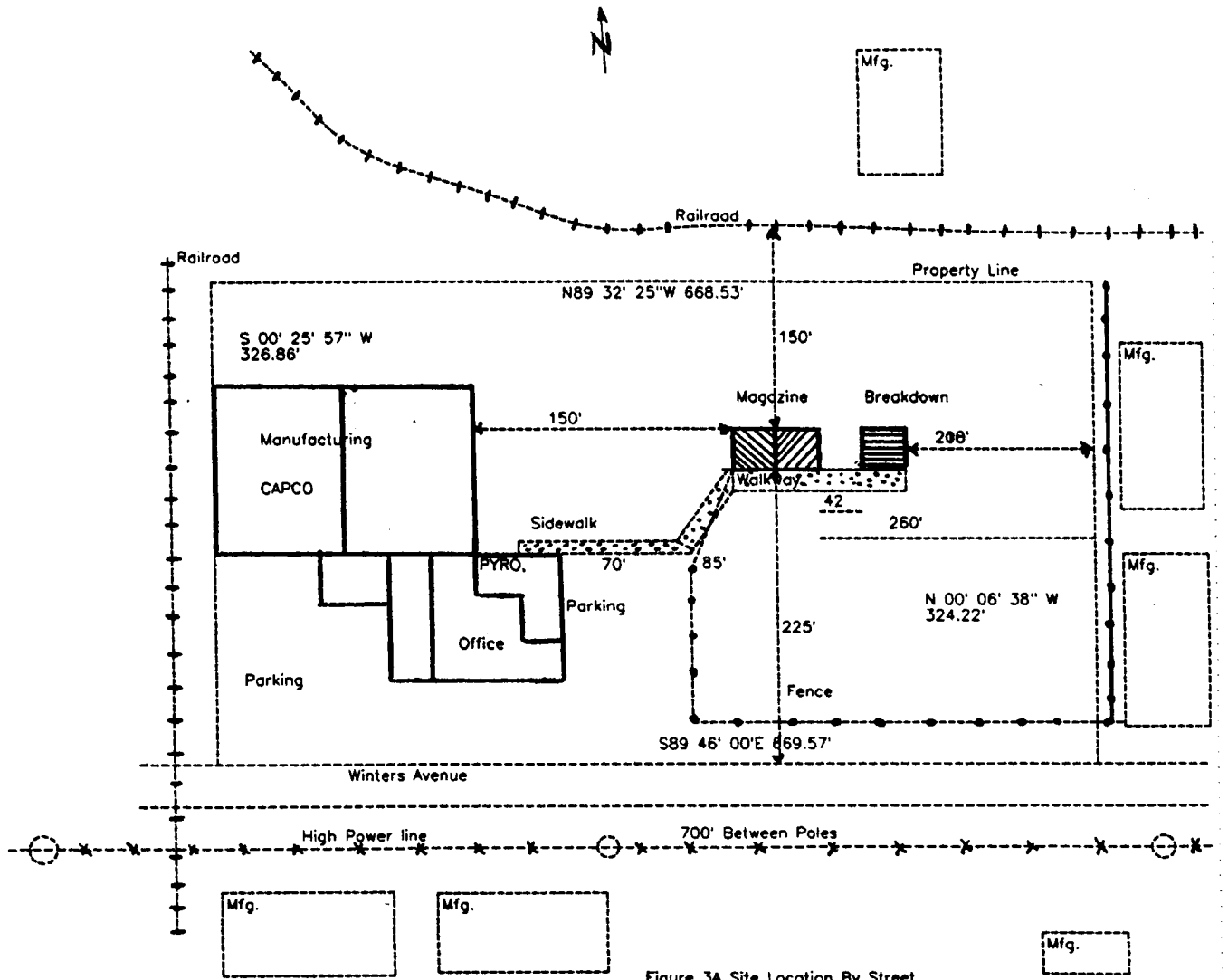
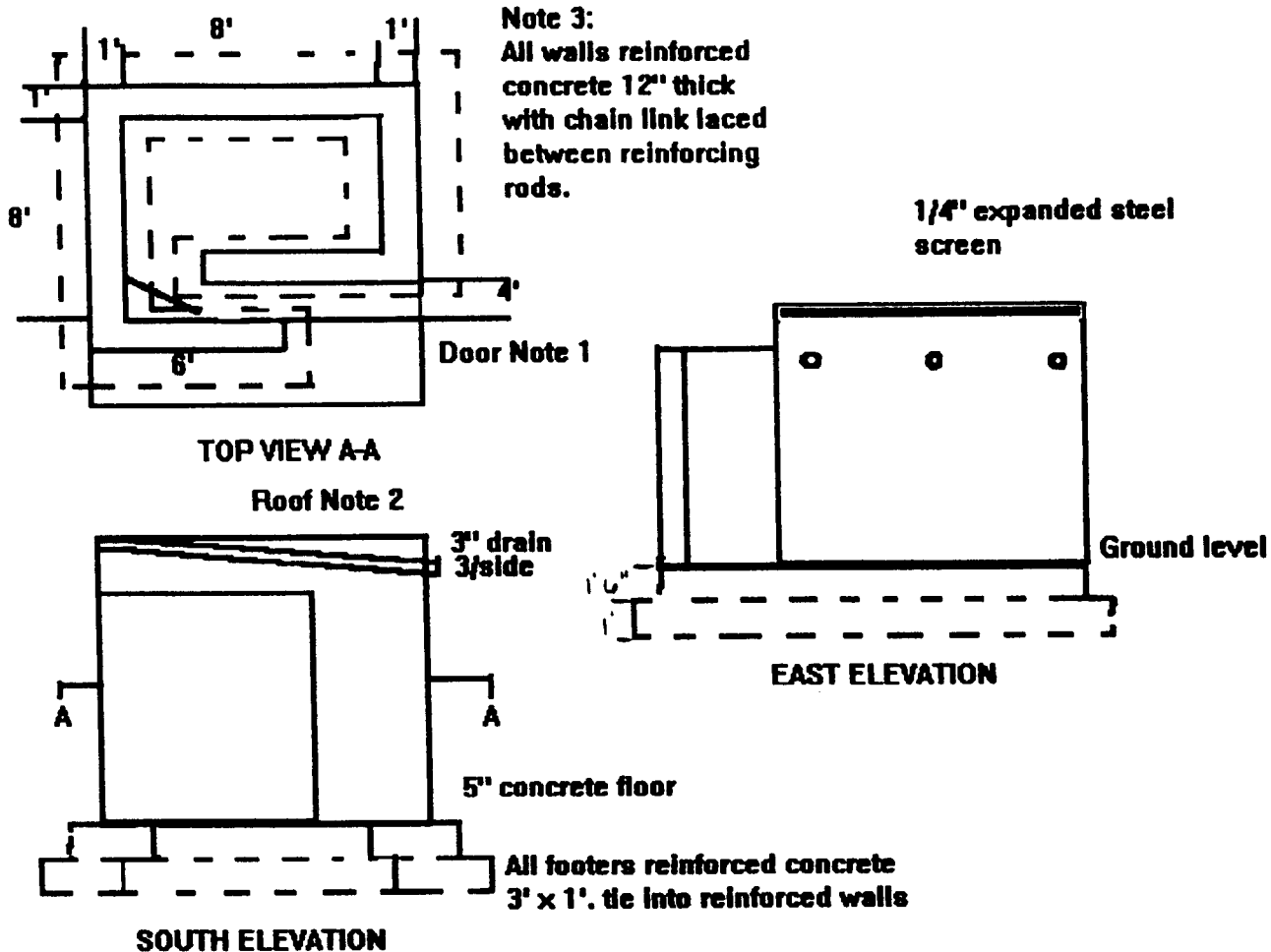


Figure 3A Site Location By Street

B.N.  
 ACCEPTED *Ronnie* 10/3/96  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

CAPCO, INC.  
 1328 WINTERS AVE.  
 GRAND JUNCTION, CO 81501



**BREAKDOWN FACILITY**

- NOTES:**
1. Doors - Steel core equipped with locks.
  2. Light construction roof, 1/2" plywood on 2x6 roof joists, flash to concrete walls, cover with tar paper. Roof should release overblast pressures in event of a detonation. 1:10 pitch.
  3. Reinforced as per DoD 4145.261.
  4. No electrical, plumbing.