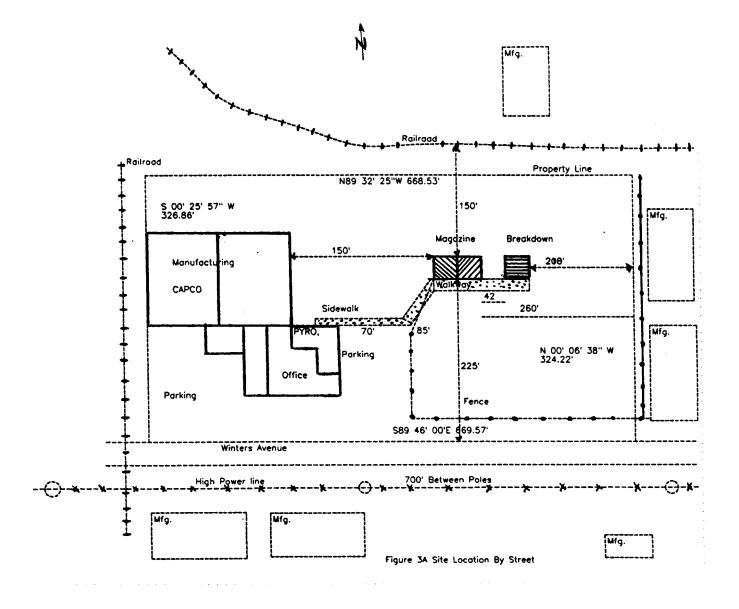
<i>Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document. ONE</i>	•		
DRAINAGE FEES       PLANNING CLEARANCE         (site plan review, multi-family development)       Grand Junction Community Development Department         01-3430-03-340-03-340-0	FEE \$ /0.99		BLDG PERMIT NO. 57898
PLANNING CLEARANCE         (site plan review, multi-family development, non-residential development)         01-3430-03-7         01-3430-03-7         11-3430-03-7         11-3430-03-7         11-3430-03-7         11-3420-03-7         12-3420-03-7         12-3420-03-7         12-3420-03-7         12-3420-03-7         12-3420-7         12-3420-7	TCP \$		FILE #
(site plan review, multi-tamily development, non-residential development)  O1- 343D-D3- " " " " " " " " " " " " " " " " " " "			
Grand Junction Community Development Department         In the section to be computates an Applicant **         BLG ADDRESS       J328         Minifers       Guille         TAX SCHEDULE NO.       2945-243-12-013         SUBDIVISION       So. FT. OF PROPOSED BLDG(S)/ADDITION       10 × 10         FILING       BLK       LOT       So. FT. OF EXISTING BLDG(S)         ****       NO. OF DWELLING UNITS       So. FT. OF SUBTING BLDG(S)       ****         ****       ADDRESS       J326       Loi TZ       NO. OF BLDGS ON PARCEL         ****       NO. OF BLDGS ON PARCEL       CONSTRUCTION         ****       ADDRESS       J326       Loi STEPS       AVE         ****       DESCRIPTION OF WORK & INTENDED USE:       ****       CONSTRUCTION         ****       ADDRESS       J325       Loi STEPS       AVE       DESCRIPTION OF WORK & INTENDED USE:         ****       TALEXING BLDGS       Mamune function to BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF **       Londscaping / Screening Required       YES       NO         ****       Tom Center of ROW, whichever is greater       Special Conditions: <i>MD Plantage In use B</i> Special Conditions: <i>MD Plantage In use B</i> Special Conditions:       MD Plantage In use B       Special Conditions:		· - · - <b></b> ,	
BLDG ADDRESS       1328       Winters (WW)       TAX SCHEDULE NO       2945 - 243 - 12 - 013         SUBDIVISION       BOISE       Cascade       SQ FT. OF PROPOSED BLDG(S)/ADDITION       10 × 10         FILING       BLK       LOT       SQ FT. OF PROPOSED BLDG(S)/ADDITION       10 × 10         FILING       BLK       LOT       SQ FT. OF PROPOSED BLDG(S)/ADDITION       10 × 10         FILING       BLK       LOT       SQ FT. OF PROPOSED BLDG(S)/ADDITION       10 × 10         ""OWNER       CARCO       NO       OF DWELLING UNITS       CONSTRUCTION         ""ADDRESS       1326       Lo. NTERS       AUE       NO       OF BLDGS ON PARCEL       3       CONSTRUCTION         ""APPLICANT       Torn       Red 14a       USE OF ALL EXISTING BLDGS       Maxinum coveration       for AFTER       CONSTRUCTION         "ADDRESS       1326       LO. NTERS       DESCRIPTION OF WORK & INTENDED USE       TELEPHONE       243 - 83750       TO' Concuta       Mulga.         'Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document       Torn       200         'Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document       Sectal Conditions: Tab Change in use on Submits a standared for Improperty Line (PL)       Yubmittal re	Grand Junction Comm		
SUBDIVISION       BOISE       Cascade       SQ. FT. OF PROPOSED BLDG(S)/ADDITION       10 × 10         FILING       BLK       LOT       SQ. FT. OF EXISTING BLDG(S)		TAX SCHEDULE NO	2945-242-12-013
FILING			
In owner       CARCO_INC       NO OF DWELLING UNITS       DEFORE:	FILING BLK LOT 2		
BEFORE:	<u>^</u>		
NO. OF BLDGS ON PARCEL       3       CONSTRUCTION         Dep Participant       Dep Participant       BEFORE:       3       AFTER:       3       CONSTRUCTION         Dep Participant       Des CF ALL EXISTING BLDGS       Manuel facture       Des CRIPTION OF WORK & INTENDED USE:       20         Des CRIPTION OF WORK & INTENDED USE:       Des CRIPTION OF WORK & INTENDED USE:       20       20       20         Des CRIPTION OF WORK & INTENDED USE:       Des CRIPTION OF WORK & INTENDED USE:       20       20       20         Des CRIPTION OF WORK & INTENDED USE:       Des CRIPTION OF WORK & INTENDED USE:       20       20       20         Des CRIPTION OF WORK & INTENDED USE:       Des CRIPTION OF WORK & INTENDED USE:       20       20       20         ONE       TELEPHONE       24:3 - 8:750       Des CRIPTION OF WORK & INTENDED USE:       20         ONE       TelePhone       24:3 - 8:750       Des CRIPTION OF WORK & INTENDED USE:       20         ONE       THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF **       Des CRIPTION OF WORK & INTENDED USE:       20         State       from Property Line (PL)       Parking Reg'mt       Secial Conditions:       Machine CRIPTION OF WORK & INTENDED USE:       20         State       from PR Rear       from Property Line (PL)       Pa	,	BEFORE:	AFTER: CONSTRUCTION
121 APPLICANT       Image: Contract of the provided and the provided the propriod. I understand that falure to comply s			AFTER: 3 CONSTRUCTION
ADDRESS       328 w.stress       Ave.       DESCRIPTION OF WORK & INTENDED USE:         (2)       TELEPHONE       243-8750       (0'×10' concurte ludg.         / Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.       ////////////////////////////////////			
Image: Contract Control of the second provided in the SSID (Submittal Standards for Improvements and Development) document.         Image: Control of the second provided in the SSID (Submittal Standards for Improvements and Development) document.         Image: Control of the second provided in the SSID (Submittal Standards for Improvements and Development) document.         Image: Control of the second provided in the SSID (Submittal Standards for Improvements and Development) document.         Image: Control of the second provided in the SSID (Submittal Standards for Improvements and Development) document.         Image: Control of the second provided in the SSID (Submittal Standards for Improvements and Development) document.         Image: Control of the second provided in the SSID (Submittal Standards for Improvements and Development) document.         Image: Control of the second provided in the second provided provided in the second provided in the second provided provide	t		l l
Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.         VONE	<sup>(2)</sup> TELEPHONE 24-3-8750	10'×10'	concrete lildg.
	Submittal requirements are outlined in the SSID (Sub		0
SETBACKS: Front	THIS SECTION TO BE COMPLETED BY	COMMUNITY DEVELOPMENT	DEPARTMENT STAFF 📾
or			ening Required: YES NO
Sidefrom PL Rearfrom PL Special Conditions: <u>The Change In use PL</u> <u>Implayers</u> . Maximum Height <u></u>		ater	1 .
Maximum Height       6.5         Maximum coverage of lot by structures       CENS.T.       8       T.ZONE       44       ANNX #    Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permis shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in ar unhealthy condition is required by the G.J. Zoning and Development Code. Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times. I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in lega action, which may include but not necessarily be limited to non-use of the building(s). Applicant's Signature         Department Approval       Date       10-3-9.6         Utility Accounting       Date       10-3-9.6         VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)		Special Conditions:	
Maximum coverage of lot by structures		emp	Toyles.
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ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).       Date	Four (4) sets of final construction drawings must be subr Clearance. One stamped set must be available on the	nitted and stamped by City job site at all times.	Engineering prior to issuing the Plannin
Department Approval <u>Romae Elwards</u> Date <u>10-3-96</u> Additional water and/or sewer tap fee(s) are required: YES NO A W/O No. N/A Utility Accounting <u>Mullie</u> Joulan Date <u>10-3-96</u> VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)	ordinances, laws, regulations, or restrictions which apply	to the project. I understand	d that failure to comply shall result in leg
Additional water and/or sewer tap fee(s) are required:       YES NO A W/O No. M/A         Utility Accounting	Applicant's Signature		Date 10-3-90
Utility Accounting Millie Jowle Date 10-3-96 VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)			
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)		0.	
	Utility Accounting VILLE STUD		
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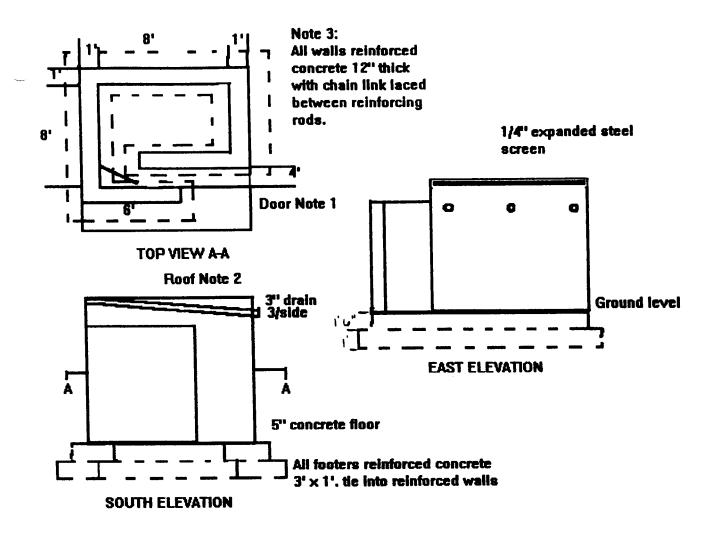


ACCEPTED ( 2m 96 l

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ACCEPTED ( ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

CAPCO. INC. 1328 WINTERS AVE. GRAND JUNCTION. CO BISOI



## BREAKDOWN FACILITY

- NOTES: 1. Doors Steel core equipped with locks. 2. Light construction roof, 1/2" plywood on 2x6 roof joists, flash to concrete walls, cover with tar paper. Roof should release overblast pressures in event of a detonation. 1:10 pitch.
  Reinforced as per DoD 4145.261.
  No electrical, plumbing.

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12