

FEE \$ 10<sup>00</sup>  
TCP \$ 425<sup>00</sup>

BLDG PERMIT NO. 58102

**PLANNING CLEARANCE**  
(Single Family Residential and Accessory Structures)  
Grand Junction Community Development Department

✓  
TCP

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 844 E YUCATON TAX SCHEDULE NO. 2701-253-07-013  
SUBDIVISION Paradise Hills SUB SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1666  
FILING 7 BLK 3 LOT 13 SQ. FT. OF EXISTING BLDG(S) Ø  
(1) OWNER 7 Joint Vendor NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(1) ADDRESS 1015 North 7<sup>th</sup> Street  
(1) TELEPHONE 242-3647 NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(2) APPLICANT 7 Joint Vendor USE OF EXISTING BLDGS Ø  
(2) ADDRESS 1015 North 7<sup>th</sup> Street DESCRIPTION OF WORK AND INTENDED USE: New Residential  
(2) TELEPHONE 242-3647  
260-3545 Lee

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE RSF-5 Maximum coverage of lot by structures \_\_\_\_\_  
SETBACKS: Front 20' from property line (PL) Parking Req'mt \_\_\_\_\_  
or 45' from center of ROW, whichever is greater  
Side 5' from PL Rear 25' ← from PL Special Conditions VAR-96-206  
15'  
Maximum Height \_\_\_\_\_ CENSUS TRACT 16 TRAFFIC ZONE 13

PAID  
NOV 4 - 1996  
DM

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 1-4-96

Department Approval [Signature] Date 11/1/96

Additional water and/or sewer tap fee(s) are required: YES  NO  W/O No. 9642

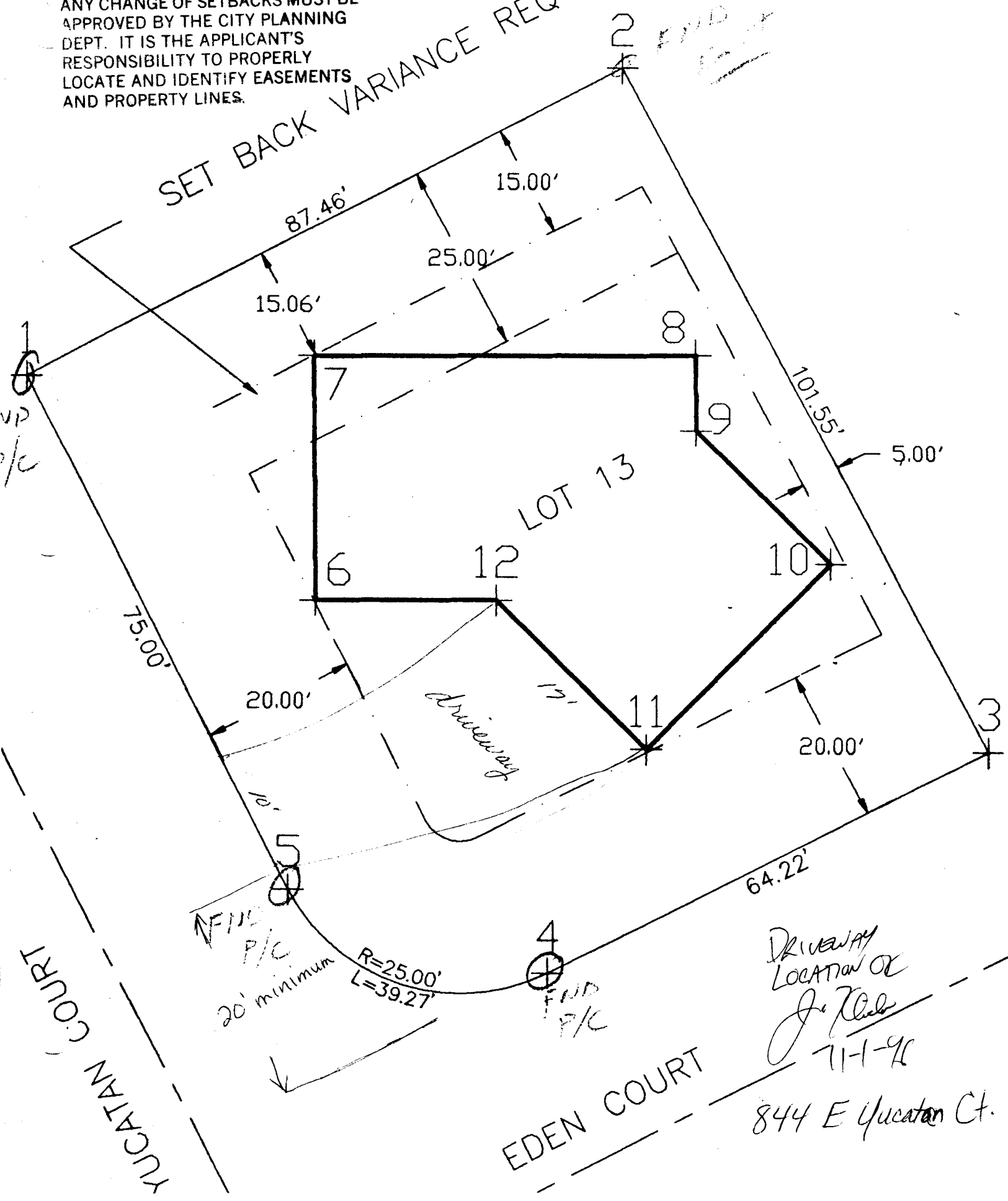
Utility Accounting [Signature] Date 11/4/96

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

ACCEPTED SLC 11/4/96  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

SET BACK VARIANCE REQUESTED



DRIVEWAY LOCATION OK  
*Joe Kleber*  
 7-1-96  
 844 E Yucatan Ct.