

FEE \$	10.00
TCP \$	—
SIF \$	—



BLDG PERMIT NO. 102257

**PLANNING CLEARANCE**

(Single Family Residential and Accessory Structures)

**Community Development Department**

BLDG ADDRESS 2026 ASPEN ST TAX SCHEDULE NO. 2945-261-14-003

SUBDIVISION OM HEIGHTS SQ. FT. OF PROPOSED BLDG(S)/ADDITION 120

FILING BLK 27 LOT 11 1/2 SQ. FT. OF EXISTING BLDG(S) 16x30 + 920 = 480 1400

(1) OWNER JACK & BERTA JAMESON NO. OF DWELLING UNITS BEFORE: 1 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 2026 ASPEN ST

(1) TELEPHONE 243-4917 NO. OF BLDGS ON PARCEL BEFORE: 2 AFTER: 1 THIS CONSTRUCTION

(2) APPLICANT SAME USE OF EXISTING BLDGS House & Garage

(2) ADDRESS \_\_\_\_\_ DESCRIPTION OF WORK AND INTENDED USE: Adding

(2) TELEPHONE \_\_\_\_\_ A 14x10 ENCLOSED AREA FOR A HOT TUB

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE RSF-8 Maximum coverage of lot by structures 45%

SETBACKS: Front 15' from property line (PL) or 5' from center of ROW, whichever is greater Parking Req'mt \_\_\_\_\_

Side 5' from PL Rear 15' from PL Special Conditions Combining

Maximum Height 32' 2 buildings

CENSUS \_\_\_\_\_ TRAFFIC \_\_\_\_\_ ANN# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Jack Jameson Date 10-1-97

Department Approval Ronnie Edwards Date 10-1-97

Additional water and/or sewer tap fee(s) are required: YES  NO \_\_\_\_\_ W/O No. \_\_\_\_\_

Utility Accounting Dotter Nelson Date 10-1-97

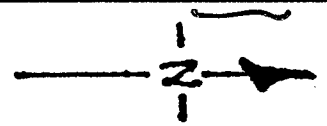
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

250

ASPEN ST.

2026 ASPEN



ACCEPTED *Ronnie* 10/1/97  
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

