

FEE \$	10.00
TCP \$	500.00
SIF \$	



BLDG PERMIT NO. 63164

**PLANNING CLEARANCE**

(Single Family Residential and Accessory Structures)

**Community Development Department**

*✓*

BLDG ADDRESS 1789 Bacon Ct TAX SCHEDULE NO. 2945-234-14-002  
 SUBDIVISION MICHAEL Village SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1100  
 FILING 3 BLK 2 LOT 2 SQ. FT. OF EXISTING BLDG(S) 0  
 (1) OWNER Zeck & Assoc NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
 (1) ADDRESS P.O. BOX 1003 NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
 (1) TELEPHONE 257-9483 USE OF EXISTING BLDGS NA  
 (2) APPLICANT Same DESCRIPTION OF WORK AND INTENDED USE:  
 (2) ADDRESS \_\_\_\_\_  
 (2) TELEPHONE \_\_\_\_\_ Single Family Home

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE PH-4 Maximum coverage of lot by structures \_\_\_\_\_  
 SETBACKS: Front 20' from property line (PL) Parking Req'mt 2  
 or \_\_\_\_\_ from center of ROW, whichever is greater  
 Side 5' from PL Rear 15' from PL Special Conditions On in Building envelope  
 Maximum Height \_\_\_\_\_ CENSUS 13 TRAFFIC 80 ANN# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

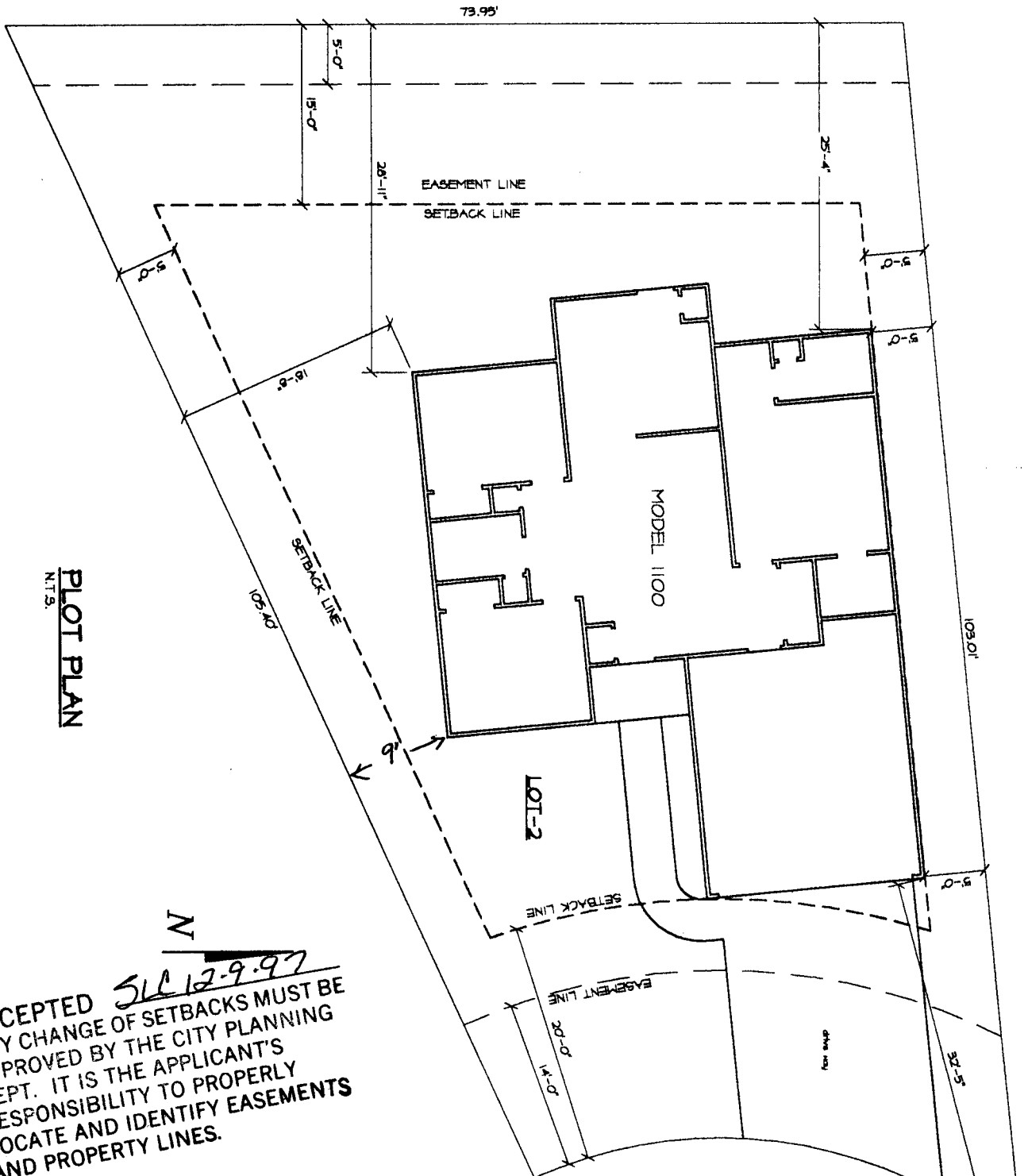
I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Manuel Zeck Date 12-4-97  
 Department Approval Santa Costello Date 12-9-97

Additional water and/or sewer tap fee(s) are required: YES  NO \_\_\_\_\_ W/O No. 10755  
 Utility Accounting Administrative Date 12-9-97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



ACCEPTED *SLC 12-9-97*  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

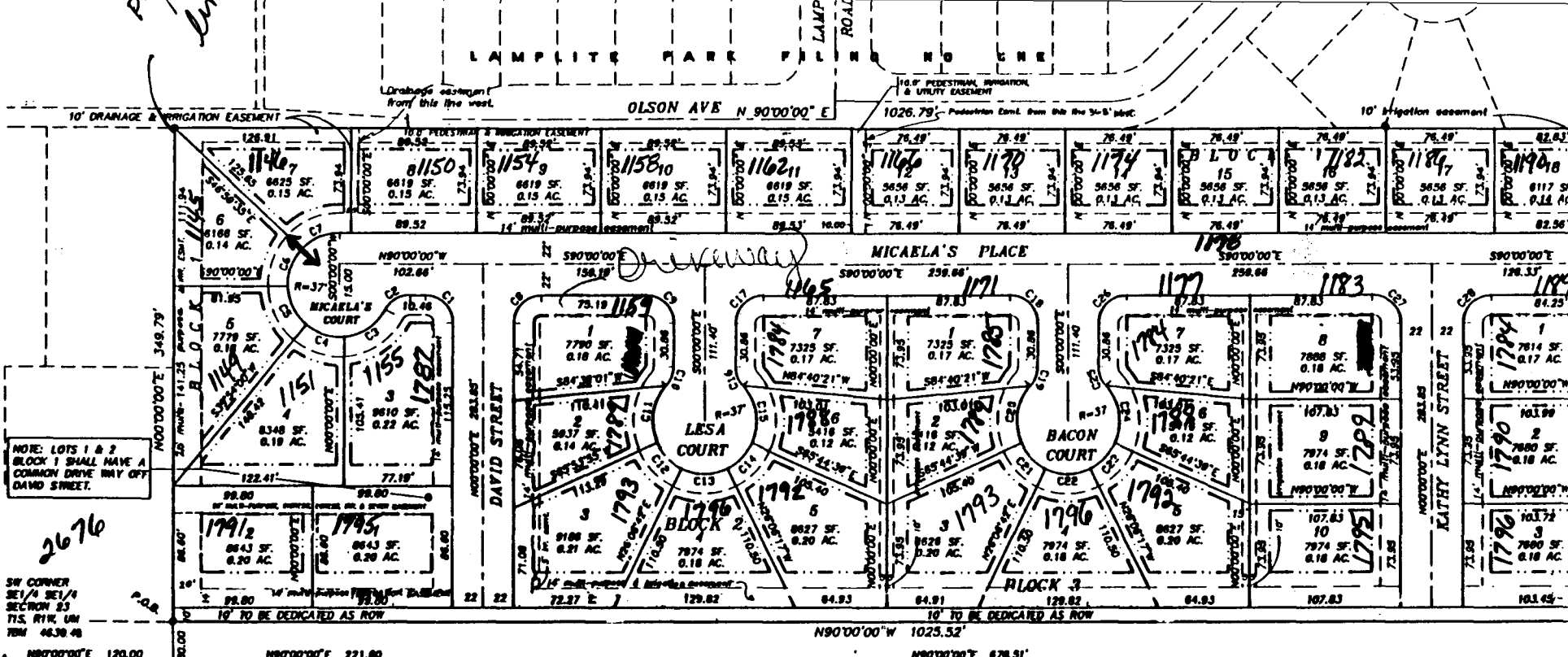
*DRIVEWAY LOCATION OK*  
*J. Klatte*  
*12-9-97*

**PL-1**

**JMK & Associates**  
 P.L.L.C.  
 1000 1/2 1st St. N.E.  
 Grand Junction, CO 81502  
 (970) 257-9488

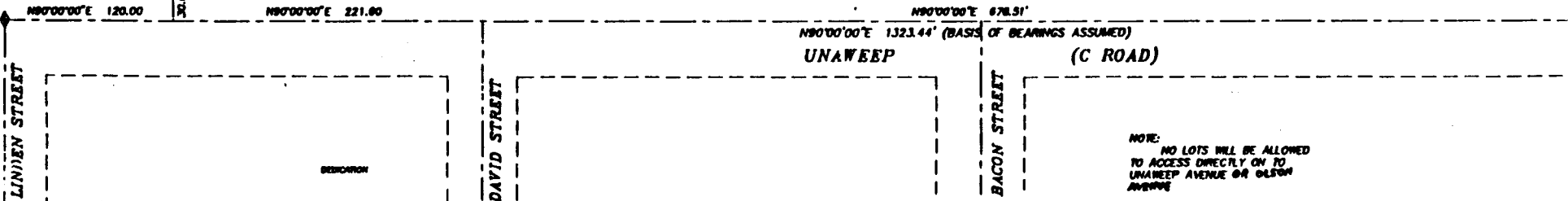
**Zeck & Associates LLC**  
 P.O. Box 1083  
 Grand Junction, CO. 81502  
 (970) 257-9488

**PLOT PLAN for**  
**LOT 2, BLOCK 3**  
**Micaela Village Subdivision**



NOTE: LOTS 1 & 2 BLOCK 1 SHALL HAVE A COMMON DRIVEWAY OFF DAVID STREET.

SW CORNER SE 1/4 SECTION 23 T1S. R1W. U.M. TBM 4636.48



NOTE: NO LOTS WILL BE ALLOWED TO ACCESS DIRECTLY ON TO UNAWEEP AVENUE OR OLSON AVENUE

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, Mary Lee Hensley, is the owner of that real property situated in the City of Grand Junction, County of Mesa, State of Colorado, and is described in Book 2057 of Pages 803 thru 805 of the Mesa County Clerk and Recorder Office, and being situated in the SE 1/4 SE 1/4 Section 23, Township 1 South, Range 1 West of the 6th Meridian, Mesa County, Colorado as shown on the accompanying plat, said property being additionally described as follows:

Beginning of a point being 120.00 feet N89°00'00"E and 30.00 feet S89°00'00"E of the SW corner of the SE 1/4 SE 1/4 Section 23, T1S, R1W, U.M., and considering the South line of the SE 1/4 SE 1/4 Section 23, T1S, R1W, U.M. to bear N89°00'00"E and all bearings contained herein to be relative thereto; thence N89°00'00"E 348.79 feet; thence S89°00'00"E 1024.79 feet to the SE corner of Loop 160 Park Filing No. One; thence S89°12'37"W 348.79 feet; thence N89°00'00"W 1024.79 feet to the Point of Beginning, containing 0.24 Acres as described.

That said owner has caused the said real property to be laid out and surveyed as MICARLA'S VILLAGE, a subdivision of a part of City of Grand Junction, County of Mesa, State of Colorado.

That said owner does hereby dedicate and set apart real property as shown and labeled on the accompanying plat as follows:

All streets and rights-of-way as shown on the accompanying plat to the City of Grand Junction, for the use of the public forever;

All half-purpose easements to the City of Grand Junction for the use of the public utilities or perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances thereto including, but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, and grade structures;

All irrigation Easements to the Property owners of lots and tracts hereby platted as perpetual easements for the installation, operation, maintenance and repair of private irrigation systems;

All Drainage Easements to the Property owners of lots and tracts hereby platted as perpetual easements for the conveyance of runoff water which originates within the area hereby platted or from upstream areas, through natural or man-made facilities above or below ground;

All sewer easements to the City of Grand Junction for the installation, operation, maintenance and repair of sanitary sewer facilities and appurtenances thereto;

All Pedestrian/Walkway, and Egress & Access easements to the owners of lots or tracts specifically identified on the plat as perpetual easements for ingress and egress purposes for the use by said lot or tract owners, their guests, and visitors, and also for use by public services, including but not limited to, postal services, trash collection, fire, police, emergency vehicles, and the City of Grand Junction;

All easements include the right of ingress and egress on, along, over, under, and through and across to the beneficiaries, their successors, or assigns, together with the right to take or remove interfering trees and shrubs, and in Drainage and Distribution/Irrigation easements, the right to dredge provided, however, that the beneficiaries of said easements shall utilize the same in a reasonable and prudent manner. Furthermore, the owners of lots or tracts hereby platted shall burden their own easements with all easements which may be required by the beneficiaries thereof which may prevent the beneficiaries thereof from exercising their rights.

STATE OF COLORADO )  
 COUNTY OF MESA ) S.S.  
 I, the undersigned, hereby certify that the foregoing instrument was acknowledged before me this 25th day of July, A.D. 1995, by Mary Lee Hensley, as her sole and lawful owner, and that she is the owner of the above described premises.

4/4/95  
 My commission expires: 08/08/98  
 State of Colorado  
 My Commission Expires 08/08/98

Mary Lee Hensley  
 Address: 33 Cleveland St. Grand Jct., CO 81504

CLERK AND RECORDERS CERTIFICATE

STATE OF COLORADO )  
 COUNTY OF MESA ) S.S.  
 I hereby certify that this instrument was filed in my office on 2:57 hours P.M. on 14th day of July, A.D. 1995, and is duly recorded in Plat Book No. 597 Page 377.

CITY APPROVAL

This plat of MICARLA'S VILLAGE, a subdivision of the City of Grand Junction, County of Mesa, and State of Colorado was approved and accepted this 9th day of August, A.D. 1995.

Shirley Cleban City Manager  
Ken Munsie President of Council

SURVEYOR'S CERTIFICATE

I, Eric E. Harris, certify that the accompanying plat of MICARLA'S VILLAGE, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado has been prepared under my direct supervision and accurately represents a field survey of same. I further certify that this plat conforms to all applicable requirements of the Zoning and Development Code of the City of Grand Junction and all applicable state laws and regulations.

Eric E. Harris  
 Eric E. Harris, G.E.D. Surveying Systems Inc.  
 4/1/95 Date

CURVE NO.	RADIUS	LENGTH
C1	80.0	37.0
C2	80.0	37.0
C3	80.0	37.0
C4	80.0	37.0
C5	80.0	37.0
C6	80.0	37.0
C7	80.0	37.0
C8	80.0	37.0
C9	80.0	37.0
C10	80.0	37.0
C11	80.0	37.0
C12	80.0	37.0
C13	80.0	37.0
C14	80.0	37.0
C15	80.0	37.0
C16	80.0	37.0
C17	80.0	37.0
C18	80.0	37.0
C19	80.0	37.0
C20	80.0	37.0
C21	80.0	37.0
C22	80.0	37.0
C23	80.0	37.0
C24	80.0	37.0
C25	80.0	37.0
C26	80.0	37.0