

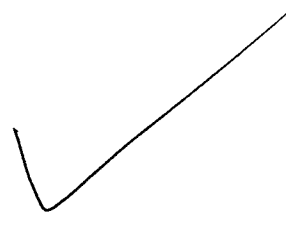
FEE \$	<u>10⁰⁰</u>
TCP \$	<u>0</u>

BLDG PERMIT NO. <u>58736</u>

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

3021-6110-04-6 Grand Junction Community Development Department



THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 716 BRASSIE DR. TAX SCHEDULE NO. 2701-364-10-003

SUBDIVISION Partee Heights SQ. FT. OF PROPOSED BLDG(S)/ADDITION 308

FILING _____ BLK 10 LOT 3 SQ. FT. OF EXISTING BLDG(S) APPROX 1500

(1) OWNER MONTE + KATHY McCALLISTER NO. OF DWELLING UNITS
BEFORE: 1 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 716 BRASSIE DR. NO. OF BLDGS ON PARCEL
BEFORE: 1 AFTER: 1 THIS CONSTRUCTION

(1) TELEPHONE 242-5928

(2) APPLICANT DAWAYNE MARTIN INC. USE OF EXISTING BLDGS RESIDENCE.

(2) ADDRESS 1712 GLENWOOD AVE. DESCRIPTION OF WORK AND INTENDED USE: ADDITION

(2) TELEPHONE 243-7365 TO MASTER BEDROOM + ADD BATHROOM.

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE RSF-5 Maximum coverage of lot by structures 35%

SETBACKS: Front 20' from property line (PL) Parking Req'mt 2
or 45' from center of ROW, whichever is greater

Side 5' from PL Rear 25' from PL Special Conditions _____

Maximum Height 32' CENSUS TRACT 10 TRAFFIC ZONE 21

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Dawayne Martin Date 1-8-97

Department Approval Sentag Costello Date 1-8-97

Additional water and/or sewer tap fee(s) are required: YES _____ NO W/O No. No change in use

Utility Accounting Marshall-Cale Date 1/8/97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

ACCEPTED SLC 1/8/97
ANY CHANGE OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPT. IT IS THE APPLICANT'S
RESPONSIBILITY TO PROPERLY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES.

