

FEE \$ 1000

BLDG PERMIT NO. 58697

TCP 0

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Grand Junction Community Development Department

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 2220 BURRO CANYON CT. TAX SCHEDULE NO. 2945-302-07-028

SUBDIVISION MONUMENT VALLEY SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2438

FILING S BLK 1 LOT 28 SQ. FT. OF EXISTING BLDG(S) 0

(1) OWNER DEK PIPPENGER NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 2227 RIMROCK DRIVE

(1) TELEPHONE 243-4893 NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(2) APPLICANT MOGENSEN & ASSOCIATES USE OF EXISTING BLDGS N/A

(2) ADDRESS 1216 IRON AVE. DESCRIPTION OF WORK AND INTENDED USE: _____

(2) TELEPHONE 741-7067 SINGLE FAMILY RESIDENCE

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR1.6 Maximum coverage of lot by structures _____

SETBACKS: Front 40' from property line (PL) or _____ from center of ROW, whichever is greater Parking Req'mt _____

Side 35 from PL Rear 35 from PL Special Conditions _____

Maximum Height _____ CENSUS TRACT 1401 TRAFFIC ZONE 64

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date Dec. 31, 1996

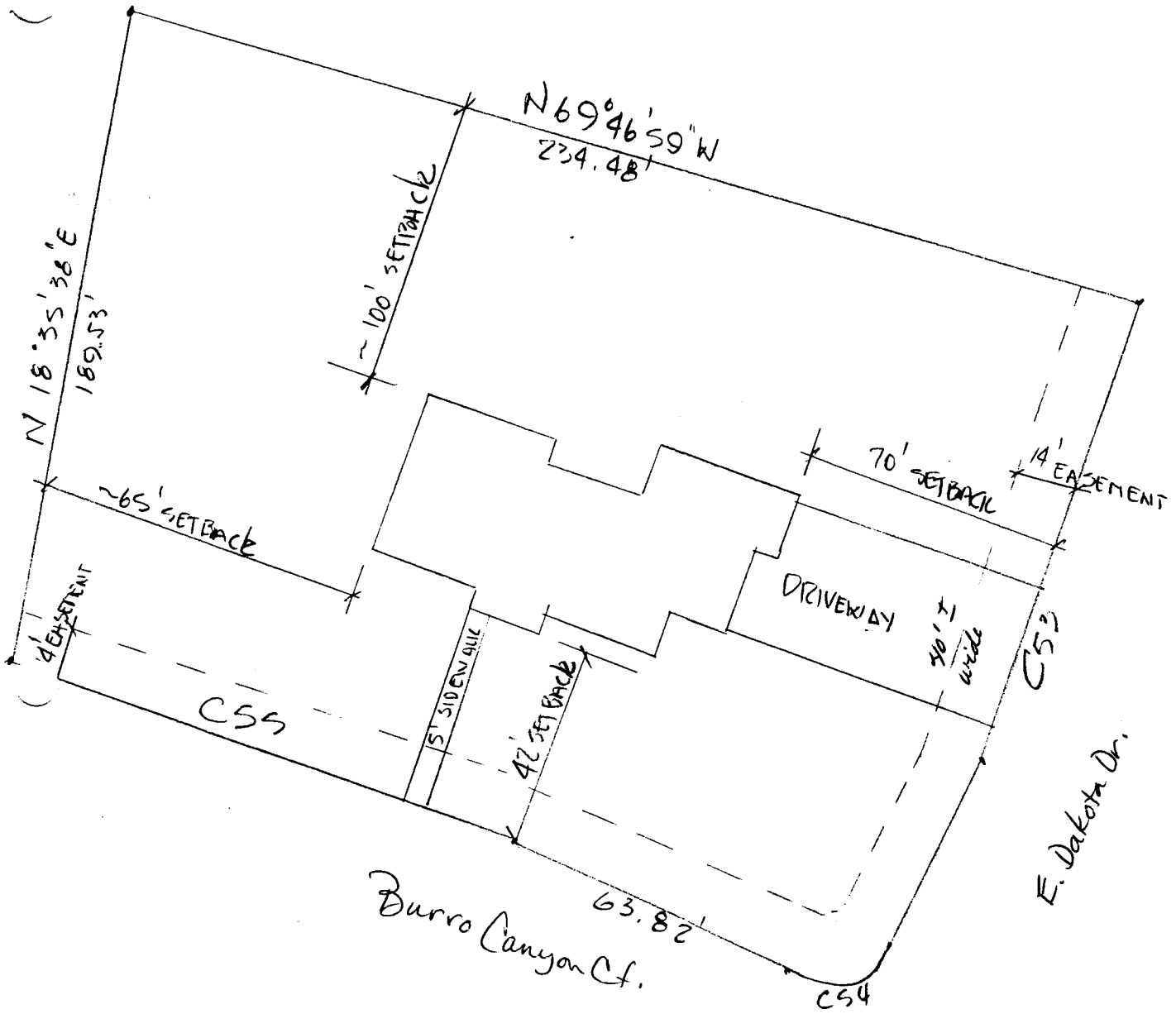
Department Approval [Signature] Date 1/6/97

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. 9785

Utility Accounting [Signature] Date 1-6-97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



2220 PANERO CANYON COURT

DRIVEWAY
 PERMIT
 REQUIRED
 FROM PW
 J. [Signature]
 12-31-98

ACCEPTED *Ronnie* 1/6/99
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING
 DEPT. IT IS THE APPLICANT'S
 RESPONSIBILITY TO PROPERLY
 LOCATE AND IDENTIFY EASEMENTS
 AND PROPERTY LINES.

PERMIT FOR ACCESS OR SURFACE ALTERATION WITHIN PUBLIC RIGHT OF WAY

Copy Distribution
White Contractor
Canary-Office File
Green-Inspector
Pink Street Supt.

CITY OF GRAND JUNCTION
250 North Fifth Street
Grand Junction, CO 81501

Department of Public Works
Engineering Division
Phone (970) 244-1555
Fax (970) 244-1599

4647

Application For: Access Surface Alteration

Company MOGENSEN & ASSOCIATES

Concrete Curbing/Sidewalk License No. 296 0343

Address 1216 ROOD AVE.

City GRAND JUNCTION State CO Zip Code 81501

Application Date DEC. 31, 1996

Date Work to Begin JAN. 6, 1997

Anticipated Completion Date JUNE 15, 1997

Job Address or Location 2220 BURRO CANYON COURT

Responsible Charge Call when ready

In accepting this permit the undersigned, representing the Permittee, verifies that he has read and understands all the provisions and requirements of this permit; that he has authority to sign for and bind the Permittee; and by virtue of his signature the Permittee is bound by and agrees to comply with all City ordinances, standards and specifications regulating construction.

LOREN MOGENSEN 241-7067
Responsible Construction Supervisor Phone No.

CHRIS CHESSANI 243-6257
Alternate Responsible Person Phone No.

LOREN MOGENSEN 241-7067
After Working Hours Contact Phone No.

Type of Performance/Warranty Guarantee N/A

In the amount of _____

Type of Work 1 Remove Existing 2 Repair Existing 3 Replace Existing 4 New Installation If Utility Work

1 2 3 4 Sanitary Sewer 1 2 3 4 Irrigation 1 2 3 4 Driveway 1 2 3 4 Underground Power Main Line

1 2 3 4 Storm Sewer 1 2 3 4 Curb & Gutter 1 2 3 4 Telephone 1 2 3 4 Gas Service Line

1 2 3 4 Water 1 2 3 4 Sidewalk 1 2 3 4 Cable T.V. 1 2 3 4 Other _____

Estimated Quantities

Curb, Gutter & Sidewalk _____ Lineal Feet

Curb & Gutter _____ Lineal Feet

Sidewalk 14 Lineal Feet

Driveway Section 62 Square Yards

Drain Pan _____ Lineal Feet

Excavation Volume _____ Cubic Yards

Sidewalk Crossing Drain _____ Each

Storm Drain Inlet _____ Each

Asphalt Pavement _____ Square Yards

Concrete Pavement _____ Square Yards

Other _____

Type of Backfill NATIVE SOIL

Requirements (To Be Completed By City)

Yes No

Performance Guaranty

Traffic Control Plan

Pedestrian Safety Plan

Inspection of Concrete Forms & Base

Inspection of Facilities Prior to Back-Fill

Inspection of Subgrade After Back-Fill

Final Inspection Upon Completion of Work

Community Development Department Approval *

End of day surface restoration required. (Surfacing material to be used _____)

Testing Requirements *

Backfill Compaction Test(s) AASHTO T-99

Roadbase Compaction Test(s) AASHTO T-180

Bituminous Pavement Compaction Test(s) AASHTO T-230

Concrete Slump/Air Test(s) AASHTO T-119, T-152

Concrete Compressive Strength AASHTO T-22, T-23

Other Testing: _____

* All compliance testing shall be performed by a qualified independent laboratory. Frequency of testing shall be in accordance with city specifications. (Water Conservancy Districts Exempt)

Permit Fee

Curbing/Sidewalk/Driveway Permit (\$60) \$ _____

Pavement Cut/Excavation Permit (\$60) \$ _____

Plus \$1.10 per linear foot of trench over 100' in length \$ _____

Other \$ _____

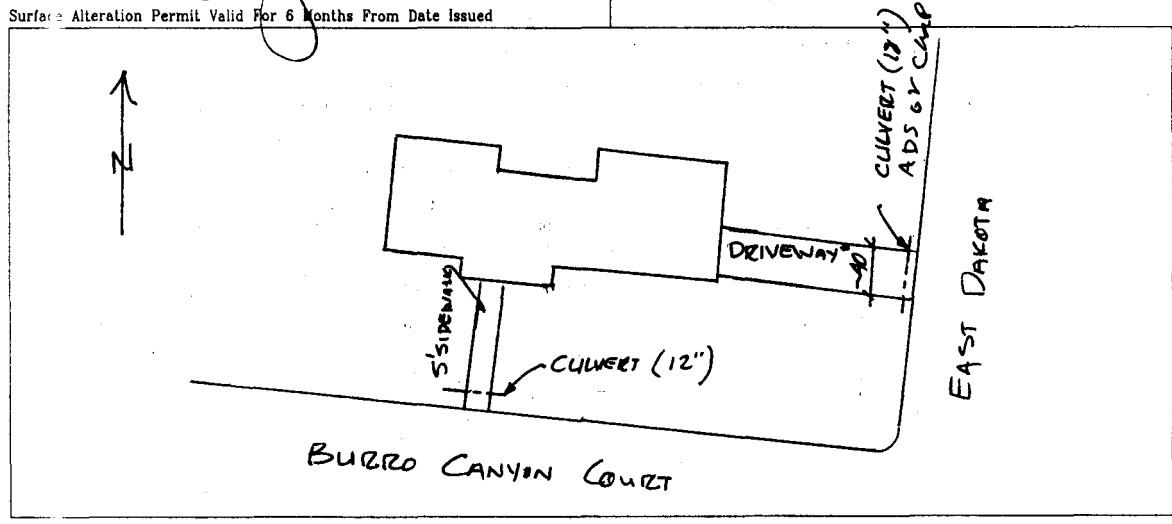
Total Permit Fees \$ NC

Contractor [Signature]

Preconstruction Inspection by: _____ Date _____

Public Works Permit Approval by: [Signature] 1-6-97 Date _____

Final Inspection by: _____ Date _____



The above space is provided for a sketch of the proposed installation. (see additional provisions and requirements on reverse side).