

FEE \$	10 ⁰⁰
TCP \$	500 ⁰⁰
SIF \$	0



BLDG PERMIT NO. 63027

O.S. fees \$225⁰⁰

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Community Development Department

BLDG ADDRESS 760 CAMBRIDGE CT. TAX SCHEDULE NO. 2701-351-41-006

SUBDIVISION CAMBRIDGE SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2800

FILING _____ BLK 2 LOT 6 SQ. FT. OF EXISTING BLDG(S) 0

(1) OWNER VAN DIJK NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 2449 H ROAD NO. OF BLDGS ON PARCEL
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) TELEPHONE 242-0407 USE OF EXISTING BLDGS N/A

(2) APPLICANT KODIAK CUSTOM HOMES DESCRIPTION OF WORK AND INTENDED USE: _____

(2) ADDRESS 2449 H ROAD NEW HOME

(2) TELEPHONE 242-0407

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR 2.24 Maximum coverage of lot by structures _____

SETBACKS: Front 20' from property line (PL) Parking Req'mt 2
 or _____ from center of ROW, whichever is greater

Side 5' from PL Rear 10' from PL Special Conditions _____

Maximum Height _____

CENSUS 10 TRAFFIC 17 ANNEX# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 11-22-97

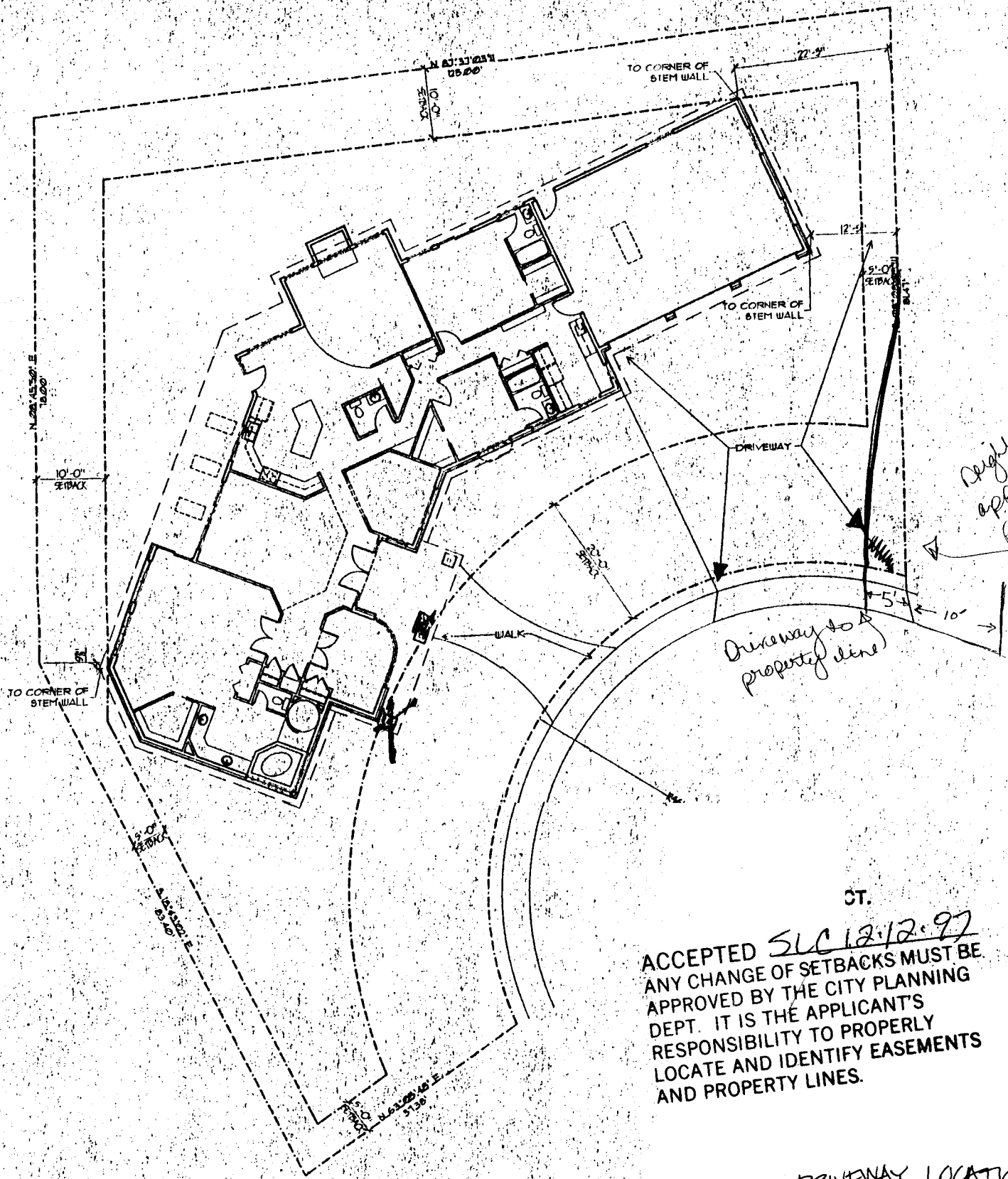
Department Approval [Signature] Date 12-12-97

Additional water and/or sewer tap fee(s) are required: YES NO _____ W/O No. 10765

Utility Accounting [Signature] Date 12/12/97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



*Neighbors drive
appt
prop line*

*Driveway to
property line*

ST.
 ACCEPTED SLC 12/12/97
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING
 DEPT. IT IS THE APPLICANT'S
 RESPONSIBILITY TO PROPERLY
 LOCATE AND IDENTIFY EASEMENTS
 AND PROPERTY LINES.

*DRIVEWAY LOCATION
O.K.
KE Ashbeck
12/12/97*

 **1: Site Plan**
 SP-1 SCALE: 1" = 10'

NOTE:
 CONTRACTOR TO VERIFY
 PROPERTY LINE DIMENSIONS