

FEE \$	1000
TCP \$	400
SIF \$	0



BLDG PERMIT NO. 61784

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Community Development Department

2945-072-83-001
-0-

BLDG ADDRESS 1201 Club Court, C TAX SCHEDULE NO. -0-

SUBDIVISION Country Club Townhomes SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1800 sq. ft.

FILING 1 BLK 2 LOT 0 SQ. FT. OF EXISTING BLDG(S) 0

(1) OWNER Vilks @ Country Club, PC NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 210 Main Street, Delta

(1) TELEPHONE (970) 874-7694 NO. OF BLDGS ON PARCEL
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(2) APPLICANT MC Bldg & Development, PC USE OF EXISTING BLDGS 0

(2) ADDRESS 2493 Hwy 6 & 50 #14 DESCRIPTION OF WORK AND INTENDED USE:

(2) TELEPHONE (970) 241-7844 Bld Townhome

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR 4.8 Maximum coverage of lot by structures _____

SETBACKS: Front _____ from property line (PL)
 or _____ from center of ROW, whichever is greater
 Parking Req'mt _____

Side _____ from PL Rear _____ from PL
 Special Conditions Per site plan/bldg

Maximum Height _____
env. File # 121-94(2)
 CENSUS 10 TRAFFIC 10 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 8/27/97

Department Approval [Signature] Date 9/8/97

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. 10533

Utility Accounting [Signature] Date 9-8-97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

COUNTRY CLUB TO

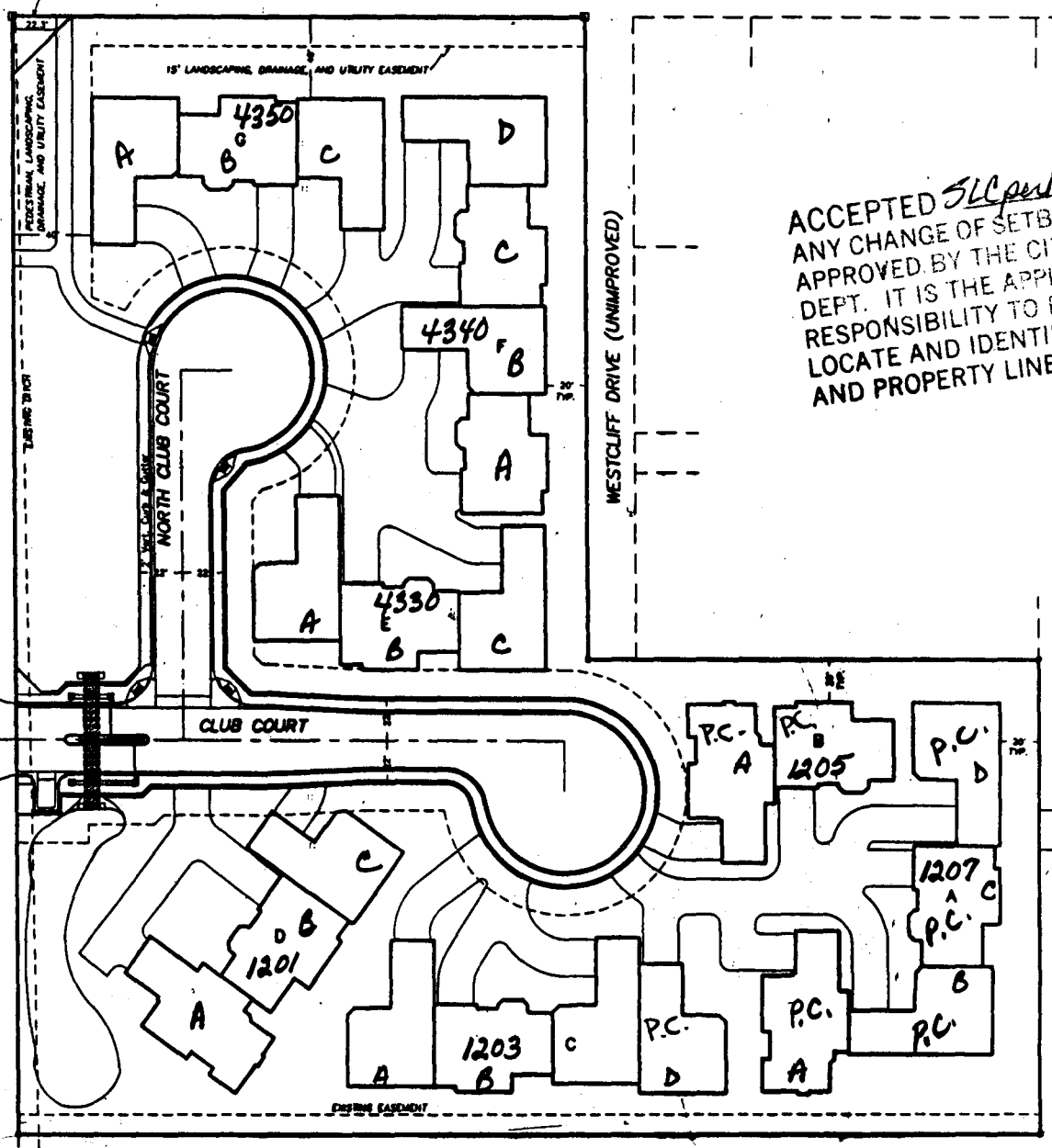
A REPLAT OF LOT 1, HORIZON PARK
MESA COUNTY COLORADO

VINTAGE 70'S
CONDOMINIUMS

G ROAD R.O.W.

EDGE OF PAVEMENT

12TH STREET R.O.W (27 ROAD)



ACCEPTED *SLC per MTD 9/8/97*
ANY CHANGE OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPT. IT IS THE APPLICANT'S
RESPONSIBILITY TO PROPERLY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES.

N 1/4 WEST LINE
SECTION 1, T7S, R1W, LM
MCSM

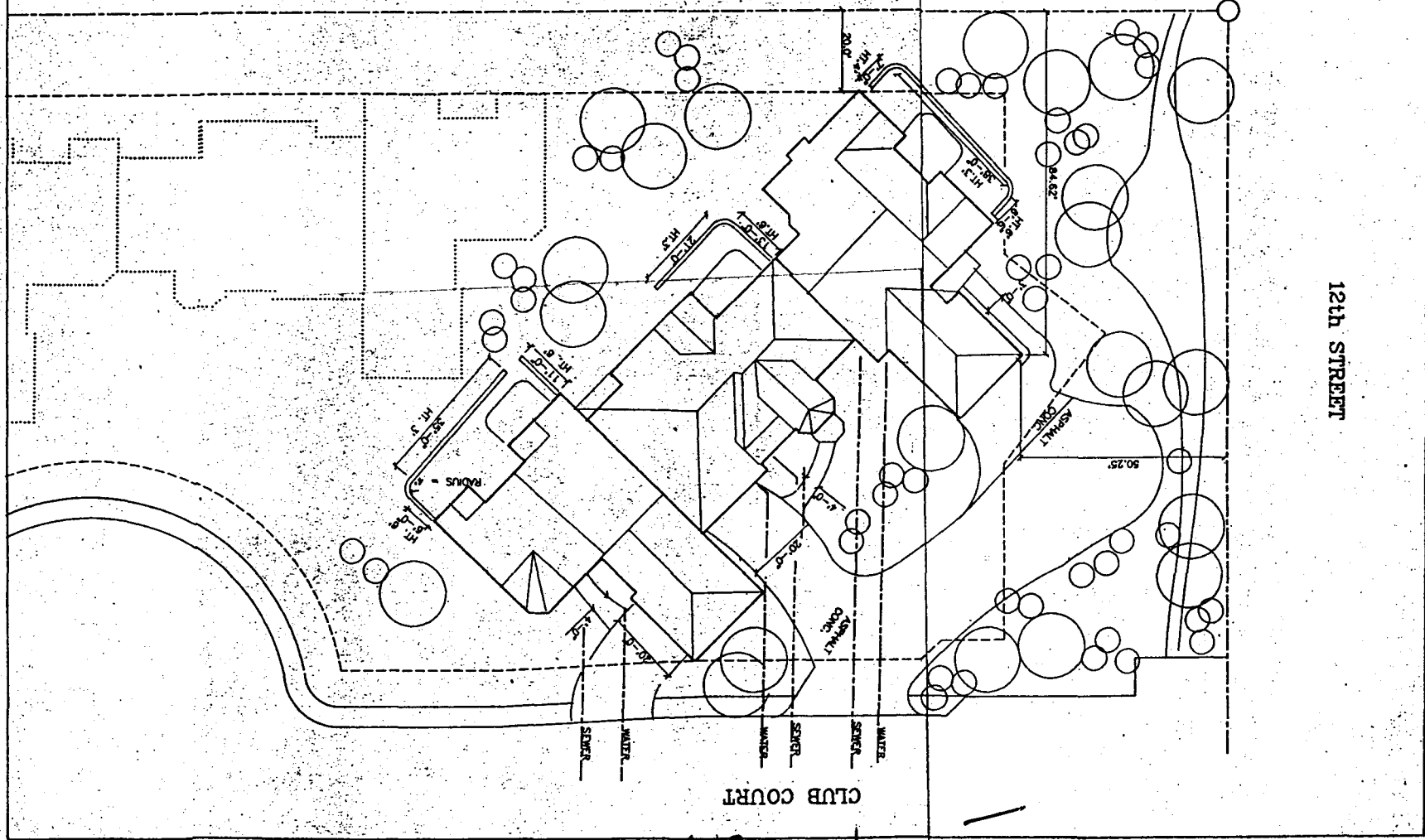
DRAINWAY LOCATION
 O.K. AS LONG AS
 E OF DRAINWAY REMAINS
 W/ NORTH CURB CT. AS
 PER APPROVED SITE PLAN
 (COPY ATTACHED) 9/8/97

SITE PLAN

1" = 20.0'



ACCEPTED 5/2/97
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 DEPT. IT IS THE APPLICANT'S
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 AND PROPERTY LINES.



12th STREET

CLUB COURT

NORTH
 CURB
 CT