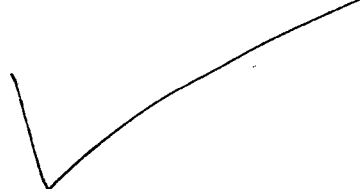


-FEE \$- 10-
TCP \$ -0-

BLDG PERMIT NO. 58831

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Community Development Department



THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 2220 Coke Ovens Ct. TAX SCHEDULE NO. 2945-193-07-023
SUBDIVISION Monument Valley SQ. FT. OF PROPOSED BLDG(S)/ADDITION 3094
FILING 5 BLK 1 LOT 23 SQ. FT. OF EXISTING BLDG(S)
(1) OWNER James & Robin Govegan NO. OF DWELLING UNITS
BEFORE: AFTER: 1 THIS CONSTRUCTION
(1) ADDRESS 1645 Peregrine Ct. Broomfield, CO 80020
NO. OF BLDGS ON PARCEL
(1) TELEPHONE (303)-466-6549 BEFORE: AFTER: 1 THIS CONSTRUCTION
(2) APPLICANT Daniel R. Gearhart USE OF EXISTING BLDGS
(2) ADDRESS 2320-E 1/2 Rd. Grand Jct. CO DESCRIPTION OF WORK AND INTENDED USE: New S/F
(2) TELEPHONE (970)-244-8925 Residence w/ 3 Gar attached Garage

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR-1.6 Maximum coverage of lot by structures
SETBACKS: Front 40' from property line (PL) Parking Req'mt 2
or from center of ROW, whichever is greater
Special Conditions
Side 35' from PL Rear 35' from PL
Maximum Height
CENSUS TRACT 1401 TRAFFIC ZONE 64

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Daniel R. Gearhart Date 1-13-97
Department Approval Marcia Babideaux Date 1-17-97

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. 9805

Utility Accounting Tracy Shafer Date 1/12/97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

North ↗

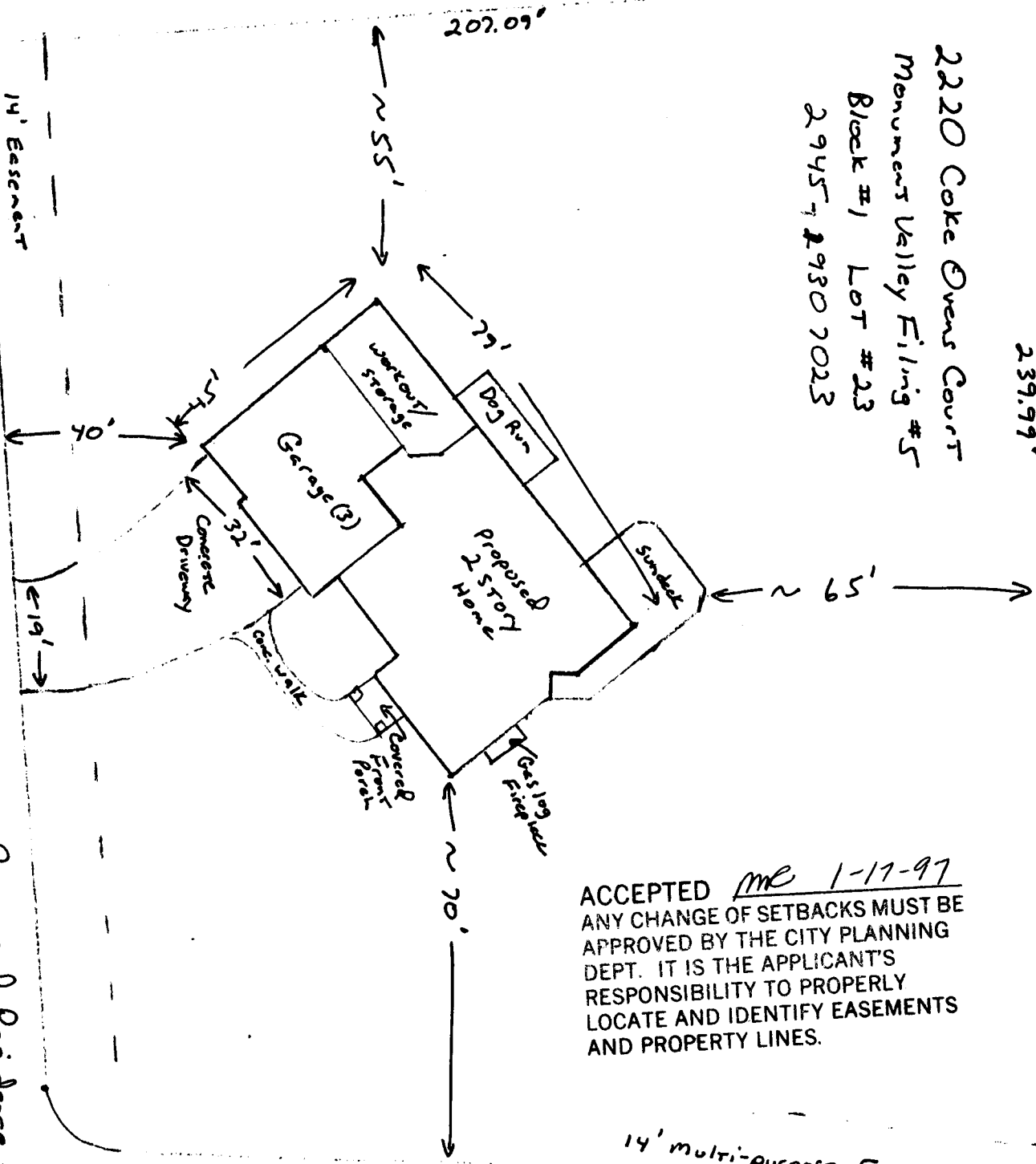
Scale
1" = 30'

LOT 22
Vacant

Setback
Minimums
40' Front
& corners
35' sides
& Rear.

LOT 24 Vacant
239.99'

2220 Coke Ovens Court
Monument Valley Filing #5
Block #1 Lot #23
29457 29307023



ACCEPTED me 1-17-97
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

14' multi-purpose Easement

East Dakota Drive

PERMIT FOR
DRIVEWAY COLLECT
REQUIRED
J. Clark
1-13-97

RED HART CONSTRUCTION
2320 E 1/2 ROAD
GRAND JUNCTION, CO 81508
(303) 244-8975

Proposed Residence for Jim & Robin
Gauger

11-01-96

Coke Ovens Court

14' Easement

PERMIT FOR ACCESS OR SURFACE ALTERATION WITHIN PUBLIC RIGHT OF WAY

Copy Distribution
 White-Contractor
 Canary-Office File
 Green-Inspector
 Pink-Street Supt.

CITY OF GRAND JUNCTION
 250 North Fifth Street
 Grand Junction, CO 81501

Department of Public Works
 Engineering Division
 Phone (970) 244-1555
 Fax (970) 244-1599

4682

Application For: Access Surface Alteration
 Company BED HART CONST, INC.
 Concrete Curbing/Sidewalk License No. _____
 Address 2320 - E 1/2 Rd.
2220 - Coke Ovens Ct.
 City Grand Jct. State CO. Zip Code 81503
 Application Date Jan 13, 1997
 Date Work to Begin Feb 15, 1997
 Anticipated Completion Date Feb 28, 1997
 Job Address or Location 2220 Coke Ovens Ct.

Responsible Charge
 In accepting this permit the undersigned, representing the Permittee, verifies that he has read and understands all the provisions and requirements of this permit; that he has authority to sign for and bind the Permittee; and by virtue of his signature the Permittee is bound by and agrees to comply with all City ordinances, standards and specifications regulating construction.
Daniel R. Gearhart 244-8975
 Responsible Construction Supervisor Phone No.
Same
 Alternate Responsible Person Phone No.
Same
 After Working Hours Contact Phone No.
 Type of Performance/Warranty Guarantee _____
 In the amount of _____

Type of Work 1 Remove Existing 2 Repair Existing 3 Replace Existing 4 New Installation If Utility Work
 1 2 3 4 Sanitary Sewer 1 2 3 4 Irrigation 1 2 3 4 Driveway 1 2 3 4 Underground Power Main Line
 1 2 3 4 Storm Sewer 1 2 3 4 Curb & Gutter 1 2 3 4 Telephone 1 2 3 4 Gas Service Line
 1 2 3 4 Water 1 2 3 4 Sidewalk 1 2 3 4 Cable T.V. 1 2 3 4 Other _____

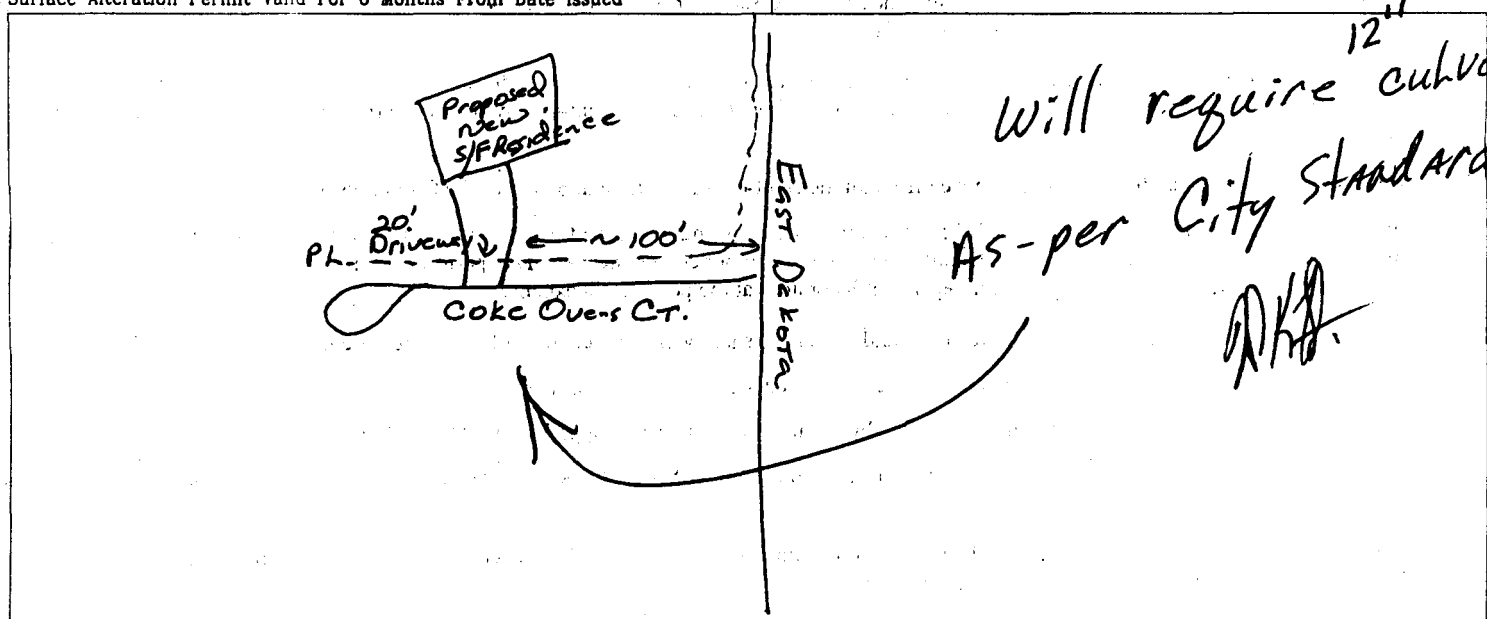
Estimated Quantities
 Curb, Gutter & Sidewalk _____ Lineal Feet
 Curb & Gutter _____ Lineal Feet
 Sidewalk _____ Lineal Feet
 Driveway Section 12 Square Yards
 Drain Pan _____ Lineal Feet
 Excavation Volume _____ Cubic Yards
 Sidewalk Crossing Drain _____ Each
 Storm Drain Inlet _____ Each
 Asphalt Pavement _____ Square Yards
 Concrete Pavement _____ Square Yards
 Other _____
 Type of Backfill Native Soils w/Gravel Drive

Requirements (To Be Completed By City) Testing Requirements*
 Yes No
 Performance Guaranty Backfill Compaction Test(s) AASHTO T-99
 Traffic Control Plan Roadbase Compaction Test(s) AASHTO T-180
 Pedestrian Safety Plan Bituminous Pavement Compaction Test(s) AASHTO T-230
 Inspection of Concrete Forms & Base Concrete Slump/Air Test(s) AASHTO T-119, T-152
 Inspection of Facilities Prior to Back-Fill Concrete Compressive Strength AASHTO T-22, T-23
 Inspection of Subgrade After Back-Fill Other Testing: _____
 Final Inspection Upon Completion of Work
 Community Development Department Approval *
 End of day surface restoration required. (Surfacing material to be used _____)

* All compliance testing shall be performed by a qualified independent laboratory. Frequency of testing shall be in accordance with city specifications.

(Water Conservancy Districts Exempt)
 Permit Fee
 Curbing/Sidewalk/Driveway Permit (\$60) \$ _____
 Pavement Cut/Excavation Permit (\$60) \$ _____
 Plus \$0.10 per linear foot of trench over 100' in length \$ _____
 Other \$ _____
 Total Permit Fees \$ _____
 Contractor Daniel R. Gearhart
 Surface Alteration Permit Valid For 6 Months From Date Issued

Preconstruction Inspection by: _____ Date 1-14-97
 Public Works Permit Approval by: _____ Date _____
 Final Inspection by: _____ Date _____



The above space is provided for a sketch of the proposed installation. (see additional provisions and requirements on reverse side)