

Planning \$ <u>NA</u>	Drainage \$ <u>NA</u>
TCP \$ <u>400.00</u>	School Impact \$ <u>NA</u>

BLDG PERMIT NO. <u>59493</u>
FILE # <u>SPR-1997-072</u>

PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)
Grand Junction Community Development Department

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 581 N. COMMERCIAL TAX SCHEDULE NO. 2945-102-13-041

SUBDIVISION WESTGATE PARK SQ. FT. OF PROPOSED BLDG(S)/ADDITION 528

FILING _____ BLK 2 LOT 2022, 2426 SQ. FT. OF EXISTING BLDG(S) 3200

(1) OWNER RANDALL CHARLES CUCUAT NO. OF DWELLING UNITS
 BEFORE: 1 AFTER: 1 CONSTRUCTION

(1) ADDRESS 1200 Divide Rd w/ water

(1) TELEPHONE 242 4376 NO. OF BLDGS ON PARCEL
 BEFORE: 1 AFTER: 1 CONSTRUCTION

(2) APPLICANT Randall Charles Cucuat USE OF ALL EXISTING BLDGS office & shop

(2) ADDRESS 1200 Divide Rd w/ water DESCRIPTION OF WORK & INTENDED USE: office addition

(2) TELEPHONE 242 4376 PLUMBING & HEATING Co. Inc

Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE C-2 Landscaping / Screening Required: YES NO

SETBACKS: Front _____ from Property Line (PL) or _____ from center of ROW, whichever is greater
 Side _____ from PL Rear Per plan from PL

Parking Req'mt 5 spaces

Special Conditions: No C.O. until landscaping in or DIA & guarantee completed

Maximum Height _____

Maximum coverage of lot by structures _____ Census Tract _____ Traffic Zone _____ Annx # _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the G.J. Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature Randall C Cucuat Date 3-18-97

Department Approval [Signature] Date 4/4/97

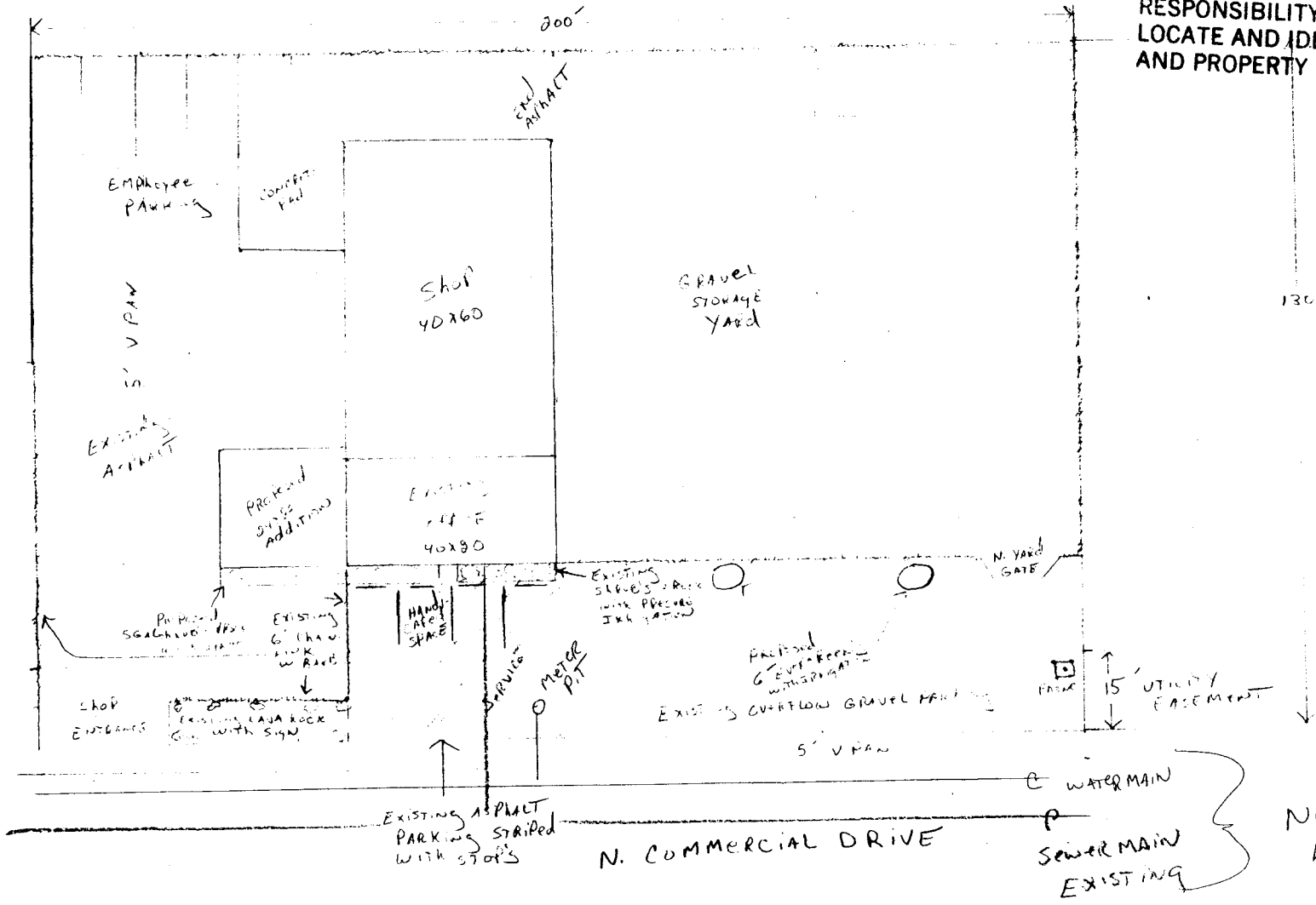
Additional water and/or sewer tap fee(s) are required: YES NO W/O No. 3021-29A-08-4

Utility Accounting [Signature] Date 4-4-97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

ACCEPTED KCA 4/4/97
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.



NO New Lines Proposed