

Planning \$ <u>10.-</u>	Drainage \$ <u> </u>
TCP \$ <u> </u>	School Impact \$ <u> </u>

BLDG PERMIT NO. <u>1071659</u>
FILE # <u> </u>

0045
0034
0023
35-230 (H2)

PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)

Grand Junction Community Development Department

~~Southwest Gate~~

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS: 573 Southwest Gate TAX SCHEDULE NO. 2945-102

SUBDIVISION S Commercial Or Commercial Weather Bonds SQ. FT. OF PROPOSED BLDG(S)/ADDITION

FILING BLK LOT 1 SQ. FT. OF EXISTING BLDG(S)

(1) OWNER Mc Cullum Family LLC NO. OF DWELLING UNITS
BEFORE: 0 AFTER: 0 CONSTRUCTION

(1) ADDRESS 552 - 75th Rd

(1) TELEPHONE 243-4642 NO. OF BLDGS ON PARCEL
BEFORE: 1 AFTER: 1 CONSTRUCTION

(2) APPLICANT Duncan & Sons Upholstery USE OF ALL EXISTING BLDGS Comm

(2) ADDRESS 412 Grand mesa Ave #3 DESCRIPTION OF WORK & INTENDED USE: 5

(2) TELEPHONE 243-3741 Awnings

Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE G-2 Landscaping / Screening Required: YES NO

SETBACKS: Front 25' from Property Line (PL) or 25' from center of ROW, whichever is greater
Parking Req'mt

Side 0 from PL Rear 0 from PL
Special Conditions:

Maximum Height 40'
Maximum coverage of lot by structures Census Tract 4 Traffic Zone 10 Annx #

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the G.J. Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature [Signature] Date 10/28/97

Department Approval [Signature] Date 10-28-97

Additional water and/or sewer tap fees are required: YES NO W/O No.

Utility Accounting [Signature] Date 10-28-97

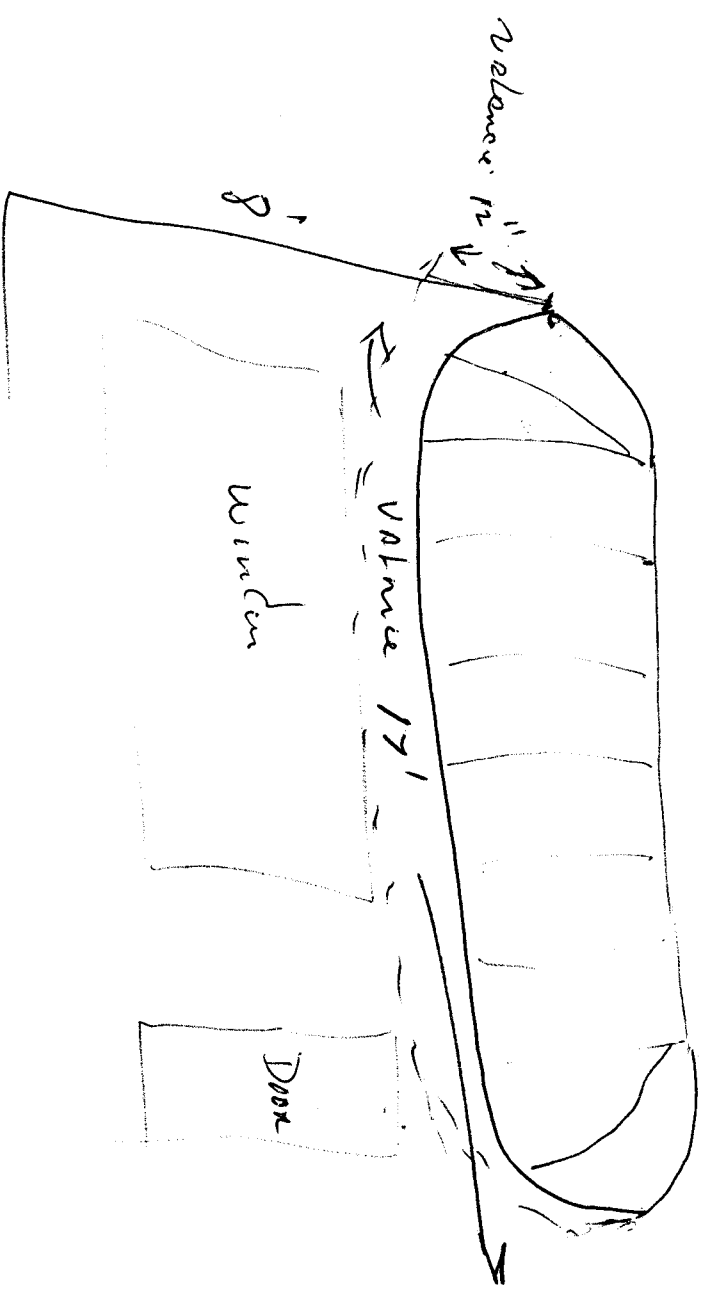
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

5 Awnings

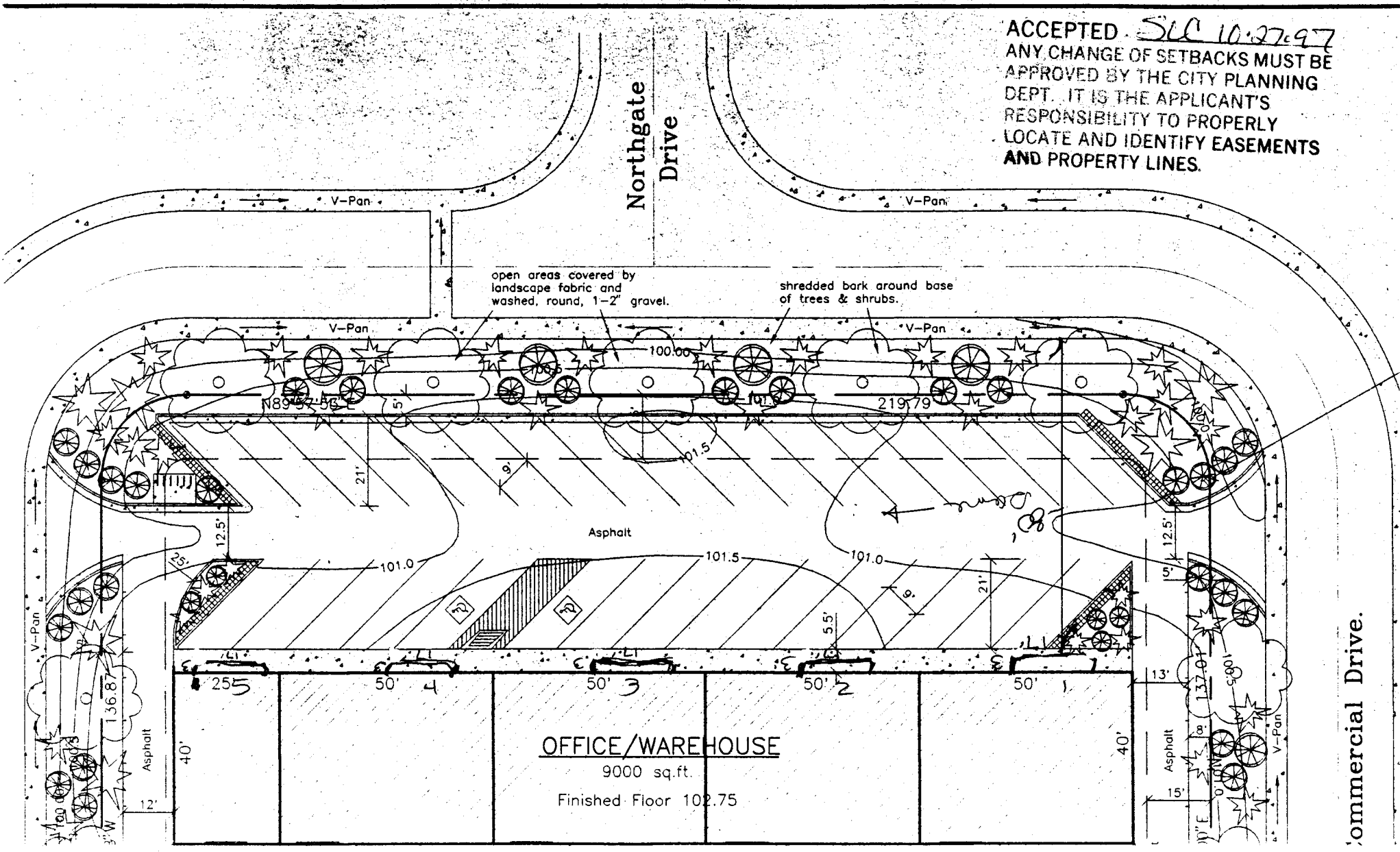
- 1 over each unit.
- 3 Steel Frame
- 4 Z Bracket

Mr Callum Family LLC



3' up
3' - projection

ACCEPTED. *SIC 10.27.97*
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING
 DEPT. IT IS THE APPLICANT'S
 RESPONSIBILITY TO PROPERLY
 LOCATE AND IDENTIFY EASEMENTS
 AND PROPERTY LINES.



Total of 5 awnings exact same size
 of 3'x3'x17'