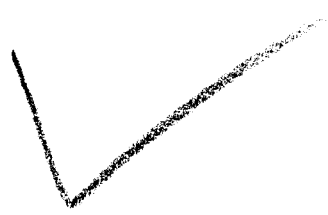


FEE \$ 10.00
TCP \$ -0-

BLDG PERMIT NO. 59432

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Grand Junction Community Development Department



THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 324 E Dakota TAX SCHEDULE NO. 2945-193-07-001
 SUBDIVISION Monument Valley SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2300 sqft
 FILING 5 BLK 2 LOT 1 SQ. FT. OF EXISTING BLDG(S) 0
 (1) OWNER Ed & Harnet Hawkins NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS PO BOX 2647
 (1) TELEPHONE 248-1654 NO. OF BLDGS ON PARCEL
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (2) APPLICANT Constructors West, Inc USE OF EXISTING BLDGS residential
 (2) ADDRESS 2818 1/2 North Ave DESCRIPTION OF WORK AND INTENDED USE:
 (2) TELEPHONE 241-5457 New residence

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR-1.6 Maximum coverage of lot by structures _____
 SETBACKS: Front 40' from property line (PL) Parking Req'mt 2
 or - from center of ROW, whichever is greater
 Side 35' from PL Rear 35' from PL Special Conditions _____
 Maximum Height _____
 CENS.T 1401 T.ZONE 96 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

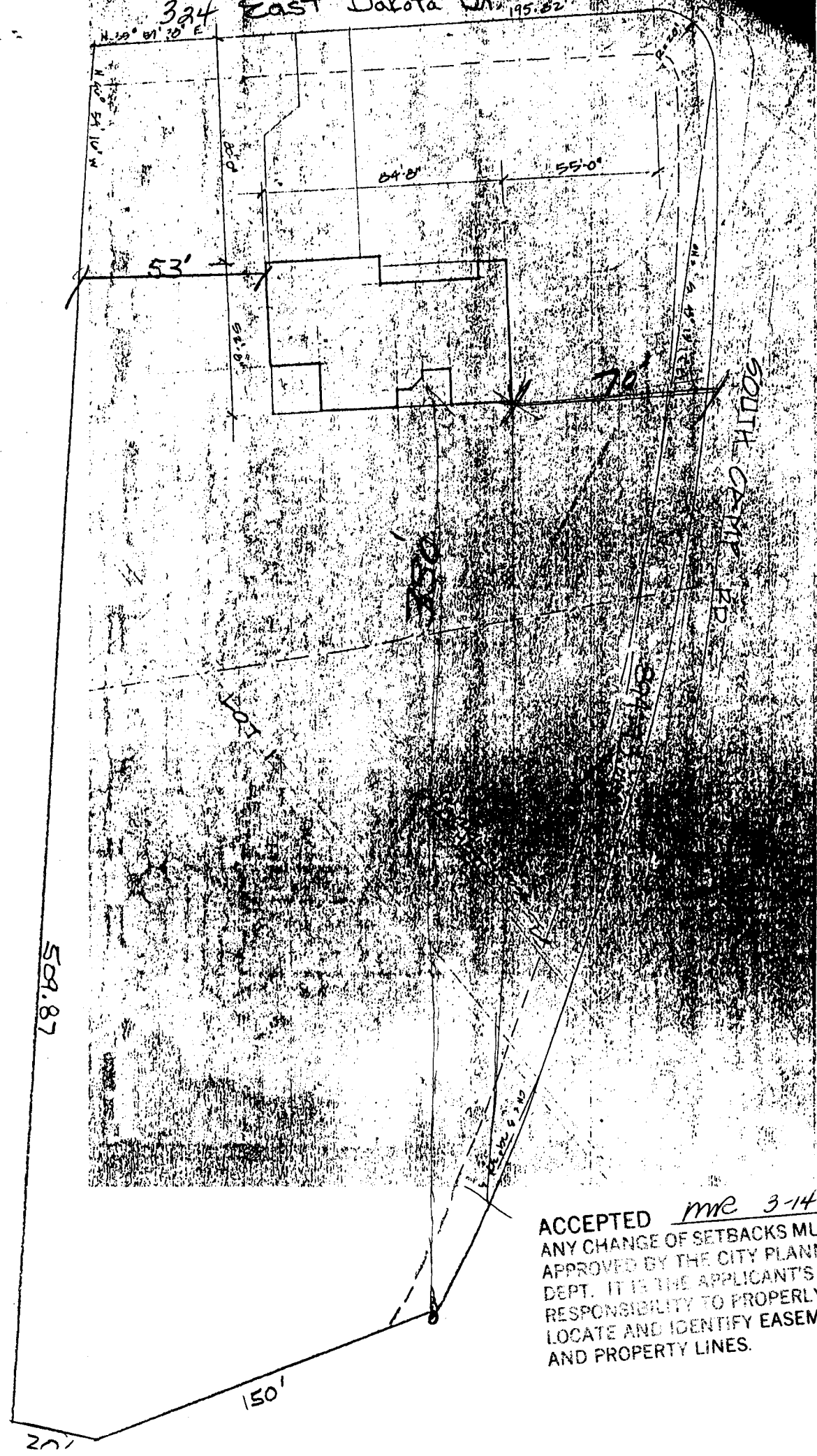
Applicant Signature [Signature] Date 3/12/97
 Department Approval [Signature] Date 3-14-97

Additional water and/or sewer tap fees) are required: YES NO W/O No. 79555
 Utility Accounting [Signature] Date _____

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

324 East Dakota Dr 195.82'



241-5457

ACCEPTED mvc 3-14-97
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING
 DEPT. IT IS THE APPLICANT'S
 RESPONSIBILITY TO PROPERLY
 LOCATE AND IDENTIFY EASEMENTS
 AND PROPERTY LINES.

PERMIT FOR ACCESS OR SURFACE ALTERATION WITHIN PUBLIC RIGHT OF WAY

Copy Distribution
 White-Contractor
 Canary-Office File
 Green-Inspector
 Street Supt.

CITY OF GRAND JUNCTION
 250 North Fifth Street
 Grand Junction, CO 81501

Department of Public Works
 Engineering Division
 Phone (970) 244-1555
 Fax (970) 244-1599

4786

Application For: Access Surface Alteration
 Company Ronderosa Constructors West, Inc
 Concrete Curbing/Sidewalk License No. 2970405
 Address 2818 1/2 N. Ave
3388 W. Plateau Ct
 City Grand Jct State CO Zip Code 81501
 Application Date 3/14/97
 Date Work to Begin 3/17/97
 Anticipated Completion Date 8/15/97
 Job Address or Location 324 E. Dakota

Responsible Charge
 In accepting this permit the undersigned, representing the Permittee, verifies that he has read and understands all the provisions and requirements of this permit; that he has authority to sign for and bind the Permittee; and by virtue of his signature the Permittee is bound by and agrees to comply with all City ordinances, standards and specifications regulating construction.
 Responsible Construction Supervisor Dennis Phillips Phone No. 244-8149
 Alternate Responsible Person Bruce Milyard Phone No. 241-5457
 After Working Hours Contact Cathy Phone No. 244-8150
 Type of Performance/Warranty Guarantee _____
 In the amount of _____

Type of Work 1 Remove Existing 2 Repair Existing 3 Replace Existing 4 New Installation
 1 Sanitary Sewer 2 Irrigation 3 Driveway 4 Underground Power Main Line
 1 Storm Sewer 2 Curb & Gutter 3 Telephone 4 Gas Service Line
 1 Water 2 Sidewalk 3 Cable T.V. 4 Other Culvert

Estimated Quantities
 Curb, Gutter & Sidewalk NIA Lineal Feet
 Sidewalk Crossing Drain _____ Each
 Curb & Gutter NIA Lineal Feet
 Storm Drain Inlet _____ Each
 Sidewalk _____ Lineal Feet
 Asphalt Pavement _____ Square Yards
 Driveway Section _____ Square Yards
 Concrete Pavement _____ Square Yards
 Drain Pan _____ Lineal Feet
 Other _____
 Excavation Volume _____ Cubic Yards
 Type of Backfill _____

Requirements (To Be Completed By City)
 Yes No
 Performance Guaranty
 Traffic Control Plan
 Pedestrian Safety Plan
 Inspection of Concrete Forms & Base
 Inspection of Facilities Prior to Back-Fill
 Inspection of Subgrade After Back-Fill
 Final Inspection Upon Completion of Work
 Community Development Department Approval *
 End of day surface restoration required. (Surfacing material to be used _____)

Testing Requirements*
 Backfill Compaction Test(s) AASHTO T-99
 Roadbase Compaction Test(s) AASHTO T-180
 Bituminous Pavement Compaction Test(s) AASHTO T-230
 Concrete Slump/Air Test(s) AASHTO T-119, T-152
 Concrete Compressive Strength AASHTO T-22, T-23
 Other Testing: _____

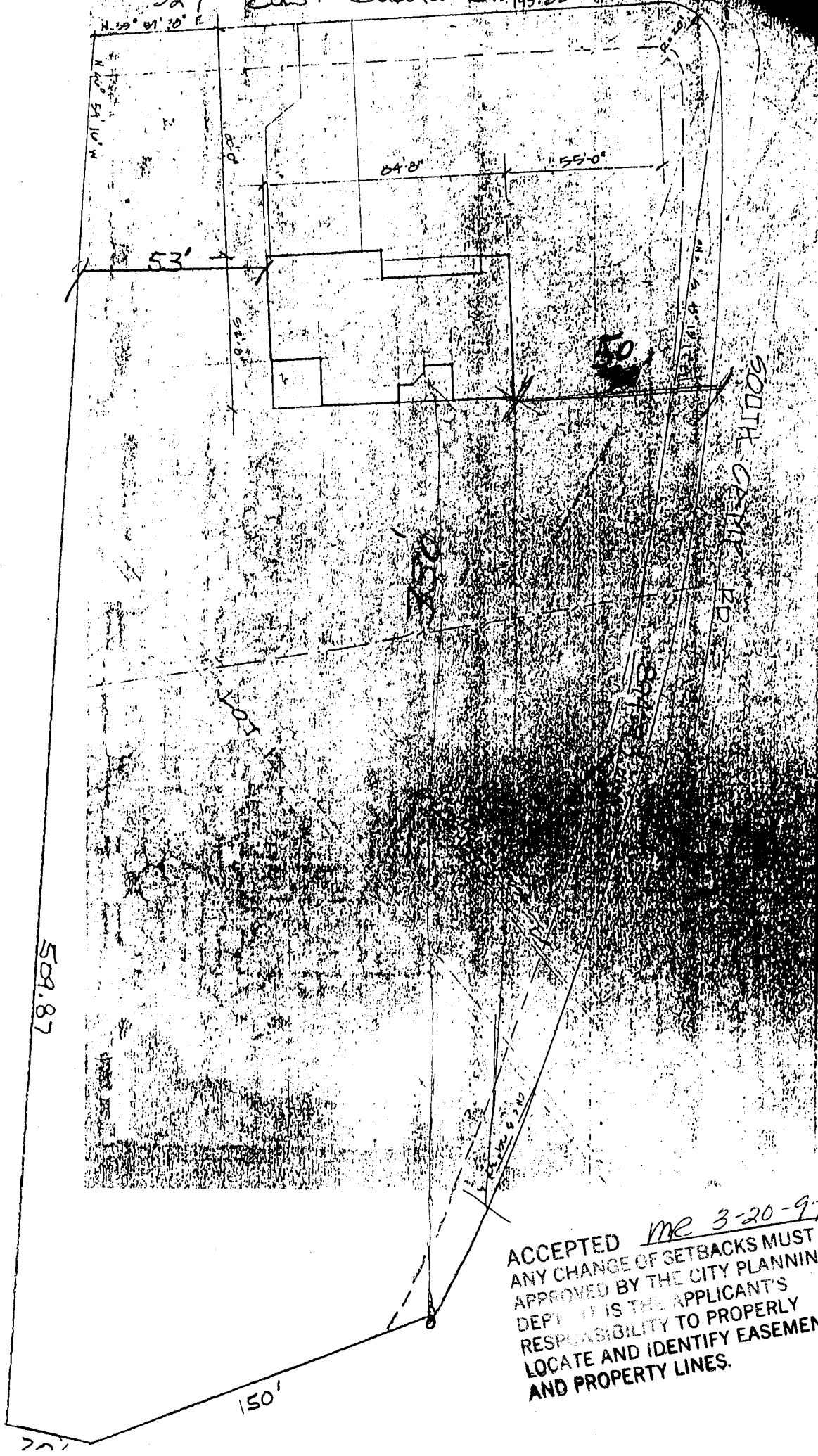
All compliance testing shall be performed by a qualified independent laboratory. Frequency of testing shall be in accordance with city specifications.

(Water Conservancy Districts Exempt)
 Permit Fee
 Curbing/Sidewalk/Driveway Permit (\$60) \$ _____
 Pavement Cut/Excavation Permit (\$60) \$ _____
 Plus \$0.10 per linear foot of trench over 100' in length \$ _____
 Other \$ _____
 Permit Fees \$ _____
 Contractor Cathy Van Cauwenbergh
 Surface Alteration Permit Valid For 6 Months From Date Issued

Preconstruction Inspection by: J. Don Newton Date 3/14/97
 Public Works Permit Approval by: _____ Date _____
 Final Inspection by: _____ Date _____

18" main diameter culvert
 extend culvert 5' on each side of driveway

324 East Dakota Dr 195.82'



ACCEPTED ME 3-20-97
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING
 DEPT. IT IS THE APPLICANT'S
 RESPONSIBILITY TO PROPERLY
 LOCATE AND IDENTIFY EASEMENTS
 AND PROPERTY LINES.