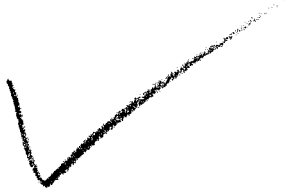


FEE \$	10 ⁰⁰
TCP \$	500 ⁰⁰

BLDG PERMIT NO. 59867

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
 Grand Junction Community Development Department



THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 399 N DALE Ct. TAX SCHEDULE NO. 2945-201-01-009
 SUBDIVISION Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1608
 FILING 2 BLK 7 LOT 9 SQ. FT. OF EXISTING BLDG(S) N
 (1) OWNER MARC HENNESSEE NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 735 4th Ave NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) TELEPHONE 244-2988 USE OF EXISTING BLDGS NA
 (2) APPLICANT _____ DESCRIPTION OF WORK AND INTENDED USE: Single
 (2) ADDRESS SAME Family Dwelling
 (2) TELEPHONE _____

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR-4 Maximum coverage of lot by structures _____
 SETBACKS: Front 20' from property line (PL) Parking Req't _____
 or _____ from center of ROW, whichever is greater Special Conditions _____
 Side 10' from PL Rear 10' from PL _____
 Maximum Height 25' CENSUS TRACT 1401 TRAFFIC ZONE ~~96~~ 96

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Marc Hennessee Date 3-4-97
 Department Approval Ronnie Edwards Date 3-6-97

Additional water and/or sewer tap fee(s) are required: YES _____ NO W/O No. Prepd. thru Ridges

Utility Accounting Attended Date 3-6-97

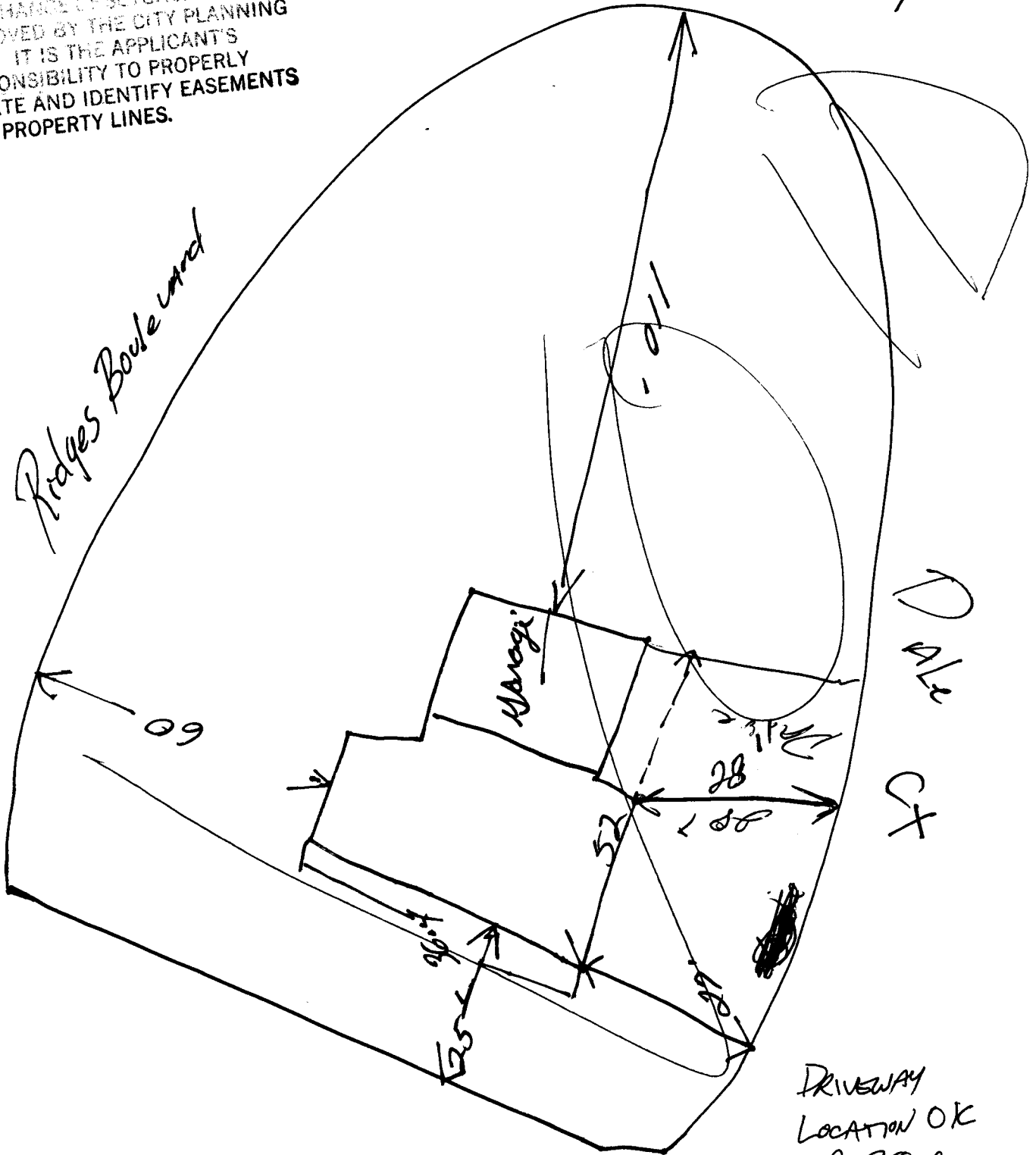
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

MTH CORP.

CONSTRUCTION
Residential & Commercial

ACCEPTED *Ronnie 3/6/97*
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.



735 4th Ave

~~1020 Hawthorn Avenue~~

• Grand Junction, CO 81501

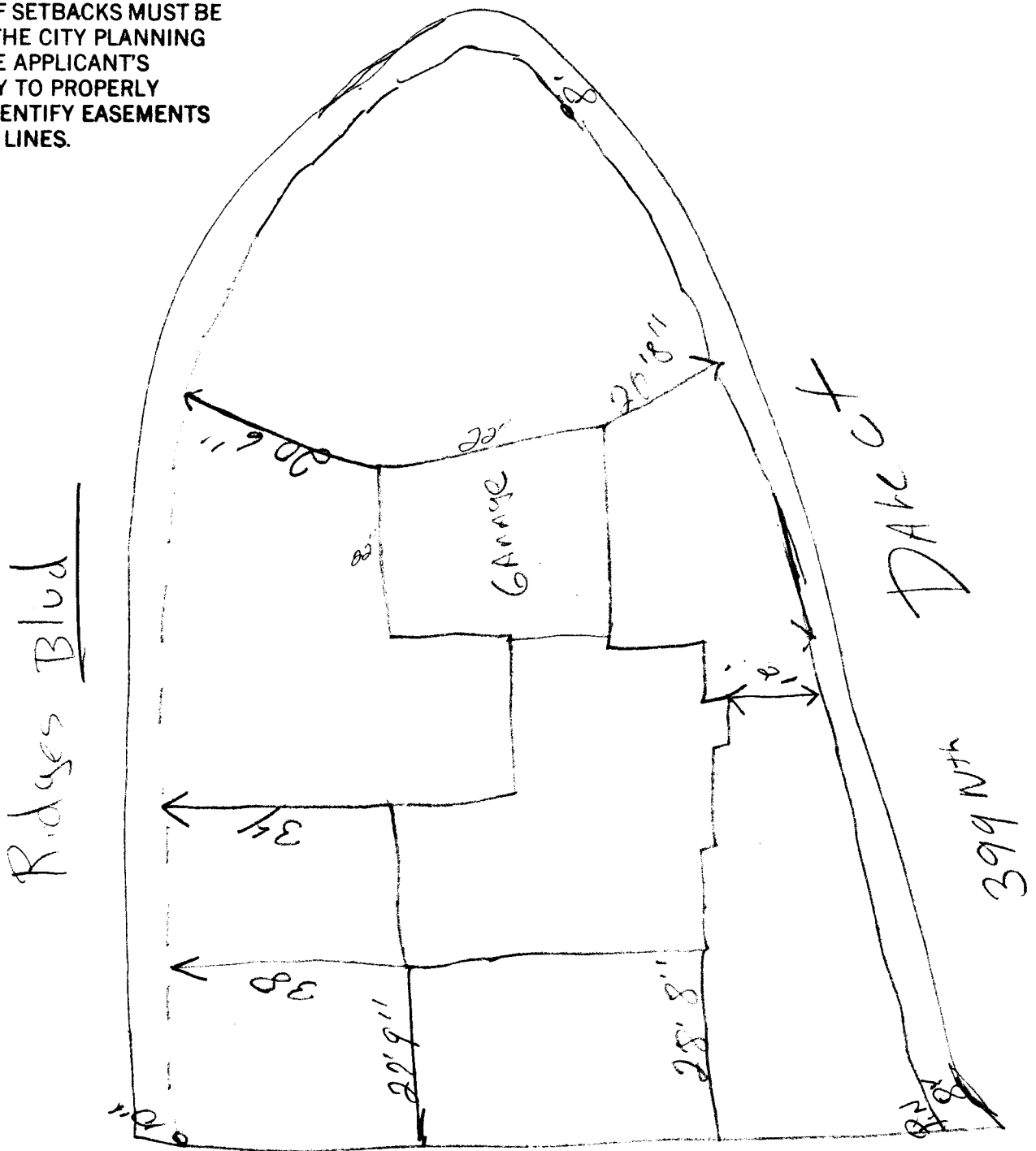
• (303) 242-4683

DRIVEWAY
LOCATION OK
J. Clark
3-4-97



CONSTRUCTION
Residential & Commercial

ACCEPTED MR 3-20-97
ANY CHANGE OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPT. IT IS THE APPLICANT'S
RESPONSIBILITY TO PROPERLY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES.



735 4th Ave
1820 Hawthorn Avenue • Grand Junction, CO 81506 • 947-2788