

Planning \$ <u>—</u>	Drainage \$ <u>—</u>
TCP \$ <u>—</u>	School Impact \$ <u>—</u>

BLDG PERMIT NO. <u>03001</u>
FILE # <u>COU-1997-04.32</u>

PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)

Grand Junction Community Development Department

✓

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 827 Grand Ave. TAX SCHEDULE NO. 2945-144-04-003

SUBDIVISION Grand Junction SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1450

FILING BLK 85 LOT 7 & 8 SQ. FT. OF EXISTING BLDG(S) 1450

(1) OWNER Linda Craft NO. OF DWELLING UNITS
BEFORE: 1 AFTER: 1 CONSTRUCTION

(1) ADDRESS 827 Grand Ave. NO. OF BLDGS ON PARCEL
BEFORE: 1 AFTER: 1 CONSTRUCTION

(1) TELEPHONE _____ USE OF ALL EXISTING BLDGS Beauty Salon & residence

(2) APPLICANT Lester & LeAnn Zetmeir DESCRIPTION OF WORK & INTENDED USE: _____

(2) ADDRESS 2180 Buffalo Dr. Financial planning business

(2) TELEPHONE 245-6162

✓ Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE B-3 Landscaping / Screening Required: YES _____ NO _____

SETBACKS: Front _____ from Property Line (PL) or 45 from center of ROW, whichever is greater Parking Req'mt 4 spaces must be striped so

Side 0' or 10' from PL Rear 0' or 10' from PL Special Conditions: that all maneuvering occurs on the property (not backing into alley)

Maximum Height 40 Census Tract 2 Traffic Zone 41 Annx # _____

Maximum coverage of lot by structures _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the G.J. Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature [Signature] Date 12/3/97

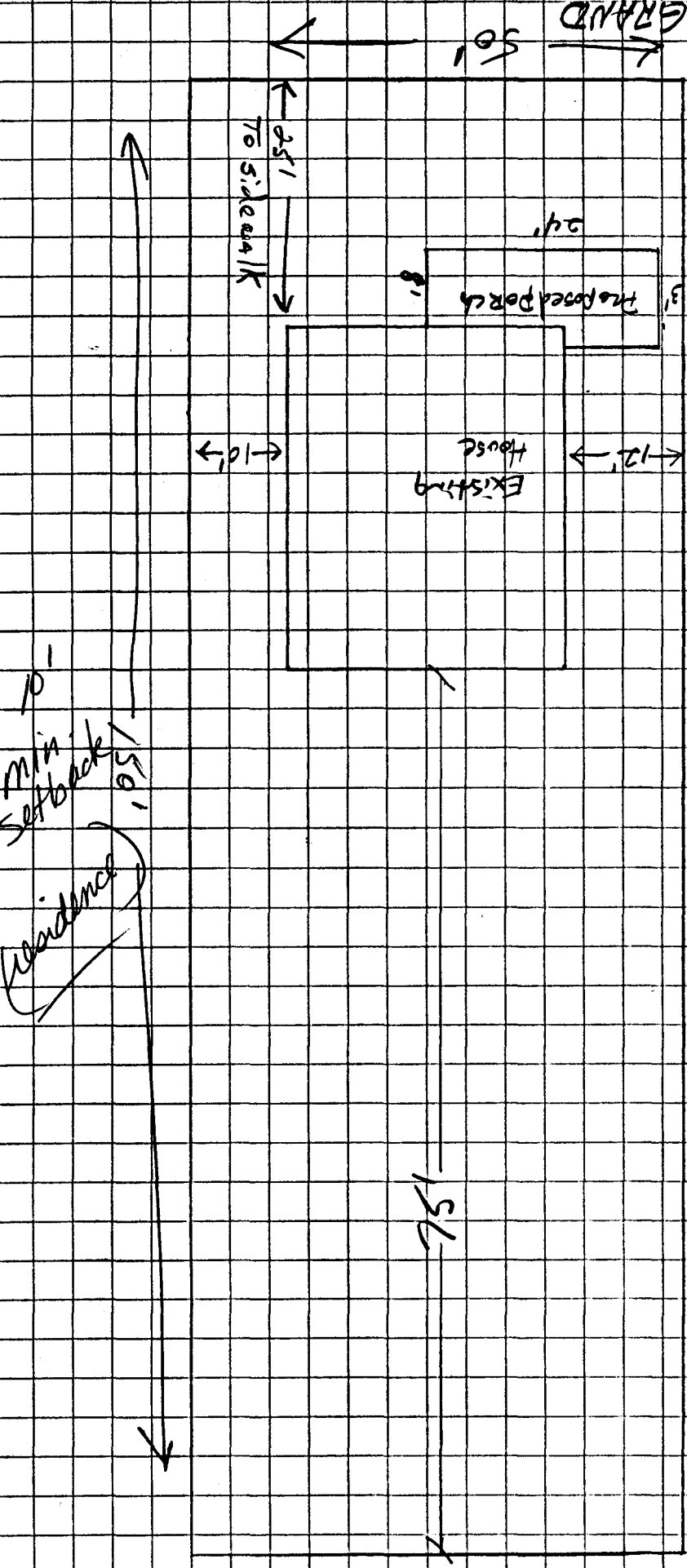
Department Approval [Signature] Date 12/3/97

Additional water and/or sewer tap fee(s) are required: YES _____ NO W/O No. None

Utility Accounting [Signature] Date 12-3-97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



0' setback
 Any front

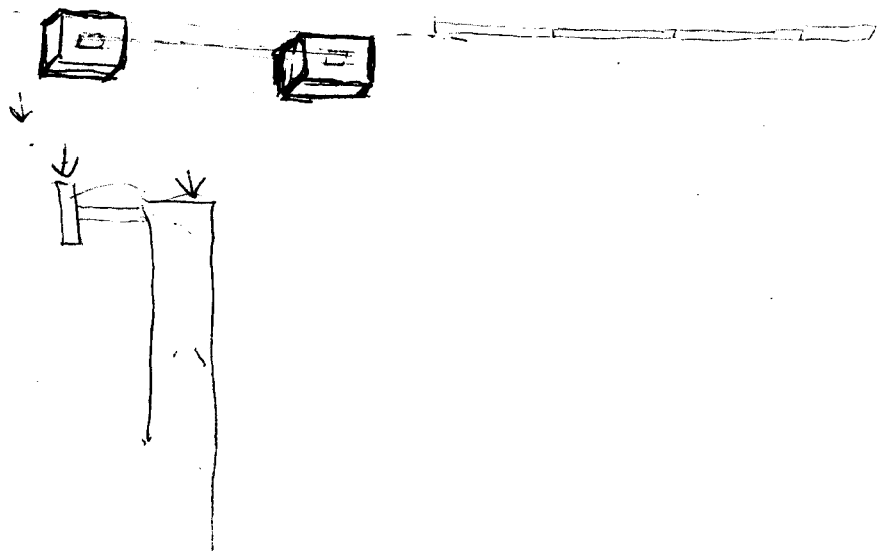
ACCEPTED
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING
 DEPT. IT IS THE APPLICANT'S
 RESPONSIBILITY TO PROPERLY
 LOCATE AND IDENTIFY EASEMENTS
 AND PROPERTY LINES.

Grone 1/20/98

Revised
 added porch.

RANDY

250-2222



Done!

Done!