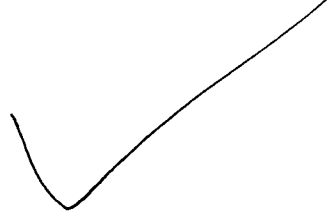


FEE \$ 10<sup>00</sup>  
TCP \$ 500<sup>00</sup>

BLDG PERMIT NO. 60800

**PLANNING CLEARANCE**  
(Single Family Residential and Accessory Structures)  
Grand Junction Community Development Department



**THIS SECTION TO BE COMPLETED BY APPLICANT**

BLDG ADDRESS 2367 RAMA Rd. TAX SCHEDULE NO. 2945-174-30-062  
SUBDIVISION The Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1158  
FILING 6 BLK 13 LOT 62A SQ. FT. OF EXISTING BLDG(S) None  
(1) OWNER BOOKCLIFF BUILDERS LTD. NO. OF DWELLING UNITS  
BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(1) ADDRESS 316 Cedar St. 81503 NO. OF BLDGS ON PARCEL  
(1) TELEPHONE 242-2212 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
(2) APPLICANT BOOKCLIFF BUILDERS LTD USE OF EXISTING BLDGS None  
(2) ADDRESS SAME DESCRIPTION OF WORK AND INTENDED USE: \_\_\_\_\_  
(2) TELEPHONE \_\_\_\_\_ New Single Family Residence

REQUIRED: Two (2) plot plans, on 8 1/2" x 11" paper, showing all existing and proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, and all easements and rights-of-way which abut the parcel.

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE PR-4 Maximum coverage of lot by structures \_\_\_\_\_  
SETBACKS: Front 20' from property line (PL) Parking Req'mt \_\_\_\_\_  
or \_\_\_\_\_ from center of ROW, whichever is greater Special Conditions \_\_\_\_\_  
Side 0'-10' from PL Rear 10' from PL \_\_\_\_\_  
Maximum Height \_\_\_\_\_ CENSUS TRACT 1401 TRAFFIC ZONE 9b

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature \_\_\_\_\_ Date 6-13-97

Department Approval Senta Costello Date 6-23-97

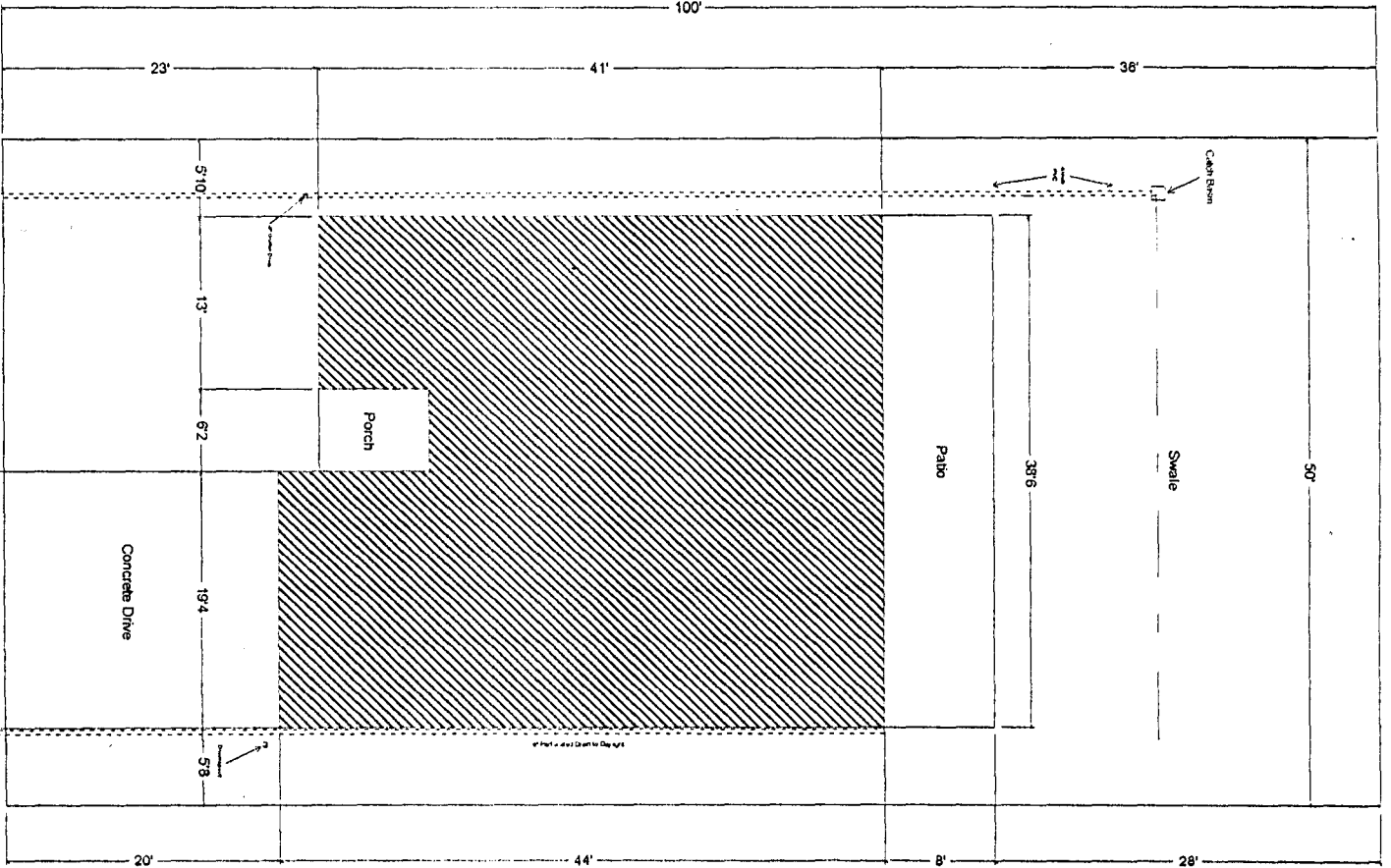
Additional water and/or sewer tap fee(s) are required: YES  NO \_\_\_\_\_ W/O No. 10297

Utility Accounting Chandler Date 6-23-97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

2367 Rana Road



**ACCEPTED** *SLC 6-23-97*  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

*DRIVEWAY LOCATION OK.  
 Klotzbeck 6/16/97*

<b>Site Plan</b>	Approvals:			
	Scale: NONE			1158 sq ft

Van Der Werff Residence

2367 Rana Road

**Bookcliff Builders Ltd**

316 Cedar Street Grand Junction CO 81503 970.242.2212

"Building dreams to come home to"

Drawn by: David Cook

Date: 06/04/97

► APPROVAL FOR BUILDING PERMIT ◀  
Ridges Architectural Control Committee (ACCO)

Job No. 236 Rana Rd.  
Builder or Homeowner  
BECKLIFE BUILDERS, LTD  
Ridges Filing No. 6  
Block 13 Lot 62A  
Pages Submitted \_\_\_\_\_  
Date Submitted 11-27-96

A  approved  
NA  Not Approved

SITE PLAN

- |                          |   |                          |    |   |                        |
|--------------------------|---|--------------------------|----|---|------------------------|
| <input type="checkbox"/> | A | <input type="checkbox"/> | NA | Front setback (20'-0" minimum)                  | <u>20'</u>             |
| <input type="checkbox"/> |   | <input type="checkbox"/> |    | Rear setback (10'-0" minimum)                   | <u>24'</u>             |
| <input type="checkbox"/> |   | <input type="checkbox"/> |    | Side setbacks (10'-0" minimum "B" and "C" lots) | <u>5'/5'</u>           |
| <input type="checkbox"/> |   | <input type="checkbox"/> |    | Square Footage                                  | <u>1334</u>            |
| <input type="checkbox"/> |   | <input type="checkbox"/> |    | Sidewalks                                       | <u>45" Front</u>       |
| <input type="checkbox"/> |   | <input type="checkbox"/> |    | Driveway (asphalt or concrete)                  | <u>Concrete</u>        |
| <input type="checkbox"/> |   | <input type="checkbox"/> |    | Drainage  | <u>Perimeter Drain</u> |
| <input type="checkbox"/> |   | <input type="checkbox"/> |    | Landscaping                                     | <u>By Owner</u>        |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

EXTERIOR ELEVATIONS

- |                          |                          |                        |  |
|--------------------------|--------------------------|------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'0" maximum) | <u>16'</u>   |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material        | <u>Asphalt Fiberglass</u> Color <u>Aspen Gray</u>                  |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color           | <u>RH 86014 M Shade Tree</u>                                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material      | <u>Cottage Top</u> Color <u>RH 86206 Silver Sage</u>               |
| <input type="checkbox"/> | <input type="checkbox"/> | Material               | Color _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color          | <u>Robinson Brick Company</u> - <u>TAOS SKY</u>                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color          | _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony                | _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios      | <u>Painted to match Siding - Railing between Brick &amp; Gols.</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Other                  | <u>Covered Patio</u>   |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

NOTE: Architectural Control Committee assumes no responsibility for the design, construction, or conformance to all applicable codes.

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee 3.21.97

Builder/Realtor/Homeowner

By [Signature]  
By [Signature]

By [Signature]  
Date 11-27-96

Height will be measured from the highest natural grade line immediately adjoining the foundation or structure. Natural grade shall mean undisturbed ground level which may be determined by on-site evidence (vegetation, ground level on adjacent land, elevation of adjacent streets and roads, soil types and locations, etc.).

#### A lots

Housing Type--Single family detached or attached with common wall on lot line or duplex on one lot.

#### Setbacks--

Front yard: 20 feet  
Rear yard: 10 feet  
Side yard: From 0' to 10'. For any sideyard setback less than 10' on one sideyard a minimum of 5' setback shall be required on the opposite sideyard line.

Minimum Building Separation: 10 feet between closest points of exterior walls.

Maximum Height--25 feet (excludes chimneys)

#### B and C lots

Housing Type--Single family detached

#### Setbacks--

Front yard: 20 feet  
Rear yard: 10 feet  
Side yard: 10 feet

Maximum Height--25 feet (excludes chimneys)

#### Architectural Control Committee (ACC) Review

Review by the Ridges Architectural Control Committee (ACC), as defined in the covenants of Filings 1-6, will be required prior to issuance of a Planning Clearance by the City of Grand Junction (City); however, the Planning Clearance will be issued by the City if all requirements as set forth in this plan document are met. Failure of the ACC to respond within 30 days of the request for review will constitute approval by the ACC for City review purposes.

#### C. Parking

- a. Filings 1 through 5--2 car garage plus 2 paved parking spaces for each single family unit and duplex unit.
- b. Filing 6--1 car garage (or carport) plus 2 paved parking spaces for each single family unit and duplex unit).
- c. Multi-family units--2.2 spaces per unit (would apply where there is common parking for more than 2 units--if no common parking, a. or b. would apply).

All required parking must be provided on-site. All driveways must be paved prior to occupancy.

PERMIT FOR ACCESS OR SURFACE ALTERATION WITHIN PUBLIC RIGHT OF WAY

Copy Distribution  
 White-Contractor  
 Canary-Office File  
 Green-Inspector  
 Pink-Street Supt.

CITY OF GRAND JUNCTION  
 250 North Fifth Street  
 Grand Junction, CO 81501

Department of Public Works  
 Engineering Division  
 Phone (970) 244-1555  
 Fax (970) 244-1599

4645

Application For:  Access  Surface Alteration  
 Company BOOKCLIFF BULDERS LTD.  
 Concrete Curbing/Sidewalk License No. 2960418  
 Address 316 Cedar St  
 City Grand Junction State Co. Zip Code 81503  
 Application Date 6-13-97  
 Date Work to Begin 7-1-97  
 Anticipated Completion Date Culvert is in place  
 Job Address or Location 2367 Rona Rd.

**Responsible Charge**  
 In accepting this permit the undersigned, representing the Permittee, verifies that he has read and understands all the provisions and requirements of this permit; that he has authority to sign for and bind the Permittee; and by virtue of his signature the Permittee is bound by and agrees to comply with all City ordinances, standards and specifications regulating construction.  
RANDY COOK 242-2212  
 Responsible Construction Supervisor Phone No.  
LISA COOK 243-8758  
 Alternate Responsible Person Phone No.  
RANDY COOK 242-2212  
 After Working Hours Contact Phone No.  
 Type of Performance/Warranty Guarantee \_\_\_\_\_  
 In the amount of \_\_\_\_\_

Type of Work  1 Remove Existing  2 Repair Existing  3 Replace Existing  4 New Installation If Utility Work  
 1  2  3  4 Sanitary Sewer  1  2  3  4 Irrigation  1  2  3  4 Driveway  1  2  3  4 Underground Power  Main Line  
 1  2  3  4 Storm Sewer  1  2  3  4 Curb & Gutter  1  2  3  4 Telephone  1  2  3  4 Gas  Service Line  
 1  2  3  4 Water  1  2  3  4 Sidewalk  1  2  3  4 Cable T.V.  1  2  3  4 Other Culvert

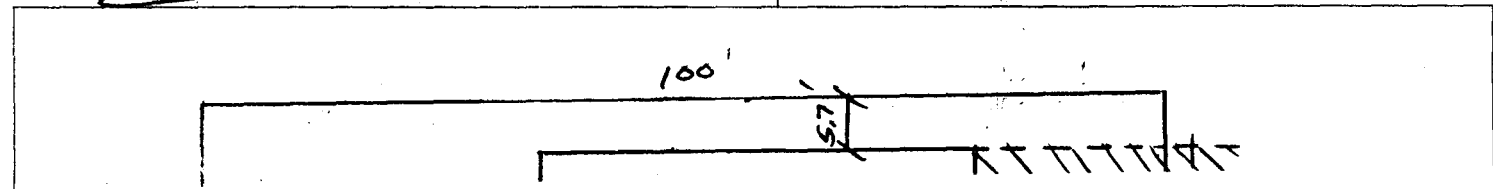
**Estimated Quantities**  
 Curb, Gutter & Sidewalk \_\_\_\_\_ Lineal Feet Sidewalk Crossing Drain \_\_\_\_\_ Each  
 Curb & Gutter \_\_\_\_\_ Lineal Feet Storm Drain Inlet \_\_\_\_\_ Each  
 Sidewalk \_\_\_\_\_ Lineal Feet Asphalt Pavement \_\_\_\_\_ Square Yards  
 Driveway Section \_\_\_\_\_ Square Yards Concrete Pavement \_\_\_\_\_ Square Yards  
 Drain Pan \_\_\_\_\_ Lineal Feet Other \_\_\_\_\_  
 Excavation Volume \_\_\_\_\_ Cubic Yards Type of Backfill \_\_\_\_\_

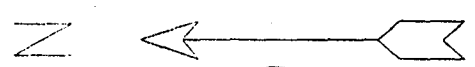
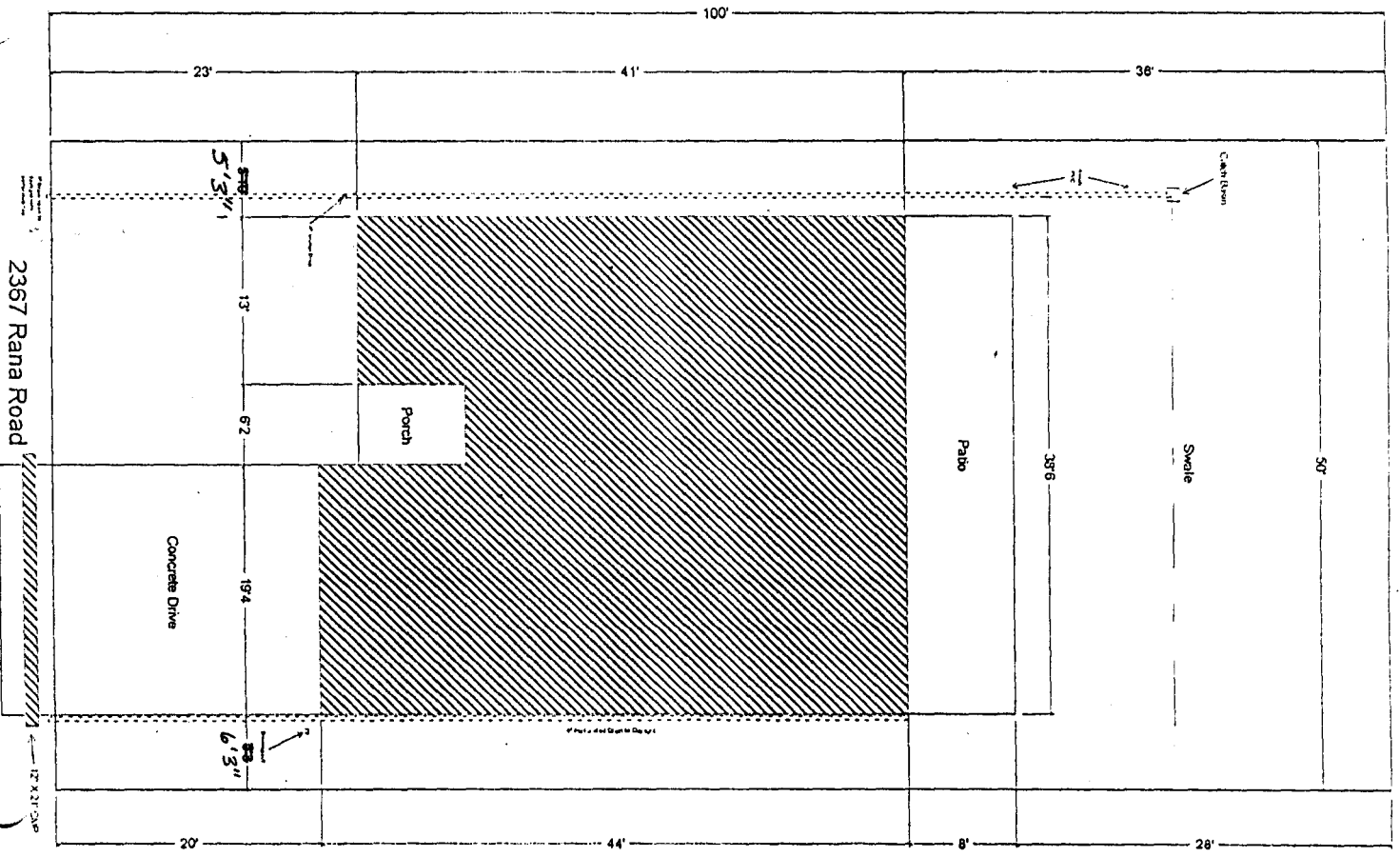
**Requirements (To Be Completed By City)** **Testing Requirements\***  
 Yes No   Performance Guaranty  Backfill Compaction Test(s) AASHTO T-99  
  Traffic Control Plan  Roadbase Compaction Test(s) AASHTO T-180  
  Pedestrian Safety Plan  Bituminous Pavement Compaction Test(s) AASHTO T-230  
  Inspection of Concrete Forms & Base  Concrete Slump/Air Test(s) AASHTO T-119, T-152  
  Inspection of Facilities Prior to Back-Fill  Concrete Compressive Strength AASHTO T-22, T-23  
  Inspection of Subgrade After Back-Fill  Other Testing: \_\_\_\_\_  
  Final Inspection Upon Completion of Work  
  Community Development Department Approval \*  
  End of day surface restoration required. (Surfacing material to be used \_\_\_\_\_)

\* All compliance testing shall be performed by a qualified independent laboratory. Frequency of testing shall be in accordance with city specifications.

(Water Conservancy Districts Exempt) **Permit Fee**  
 Curbing/Sidewalk/Driveway Permit (\$60) \$ \_\_\_\_\_  
 Pavement Cut/Excavation Permit (\$60) \$ \_\_\_\_\_  
 Plus \$0.10 per linear foot of trench over 100' in length \$ \_\_\_\_\_  
 Other \$ \_\_\_\_\_  
 Total Permit Fees \$ NA  
 Surface Alteration Permit Valid For 6 Months From Date Issued

Preconstruction Inspection by: \_\_\_\_\_ Date \_\_\_\_\_  
Don Newton 6-13-97  
 Public Works Permit Approval by: \_\_\_\_\_ Date \_\_\_\_\_  
 Final Inspection by: \_\_\_\_\_ Date \_\_\_\_\_





**REVISED**  
**ACCEPTED SLI 6/25/97**  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

Approvals: 


  
 Scale: NONE  
 1158 sq ft

**Site Plan**

DRIVEWAY LOCATION O.K.  
 setback 6/16/97

Van Der Werff Residence <hr/> 2367 Rana Road	<b>Bookcliff Builders Ltd</b> 316 Cedar Street Grand Junction CO 81503 970.242.2212 "Building dreams to come home to"	Drawn by: David Cook <hr/> Date: 06/04/97
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