

FEE \$	10 ⁻
TCP \$	500 ⁻
SIF \$	0



BLDG PERMIT NO. 60778

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Community Development Department



BLDG ADDRESS 2572 RANCH COURT TAX SCHEDULE NO. 2701-344-19-006
 SUBDIVISION Wilson Ranch SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1889 AC 684 GARAGE
 FILING 4 BLK 2 LOT 6 SQ. FT. OF EXISTING BLDG(S) NA
 (1) OWNER Colorado Homes Bldg Design NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 186 1/2 Glory View Dr Grandt
 (1) TELEPHONE 970-242-2968 NO. OF BLDGS ON PARCEL
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (2) APPLICANT JEFFREY D KELLEY USE OF EXISTING BLDGS RESIDENCE - Single Family
 (2) ADDRESS 186 1/2 Glory View Dr Grandt DESCRIPTION OF WORK AND INTENDED USE:
 (2) TELEPHONE 970-242-2968 New Residence

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR4.4 Maximum coverage of lot by structures _____
 SETBACKS: Front 25' from property line (PL) Parking Req'mt _____
 or _____ from center of ROW, whichever is greater Special Conditions _____
 Side 10' from PL Rear 20' from PL
 Maximum Height _____
 CENSUS 9 TRAFFIC 19 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

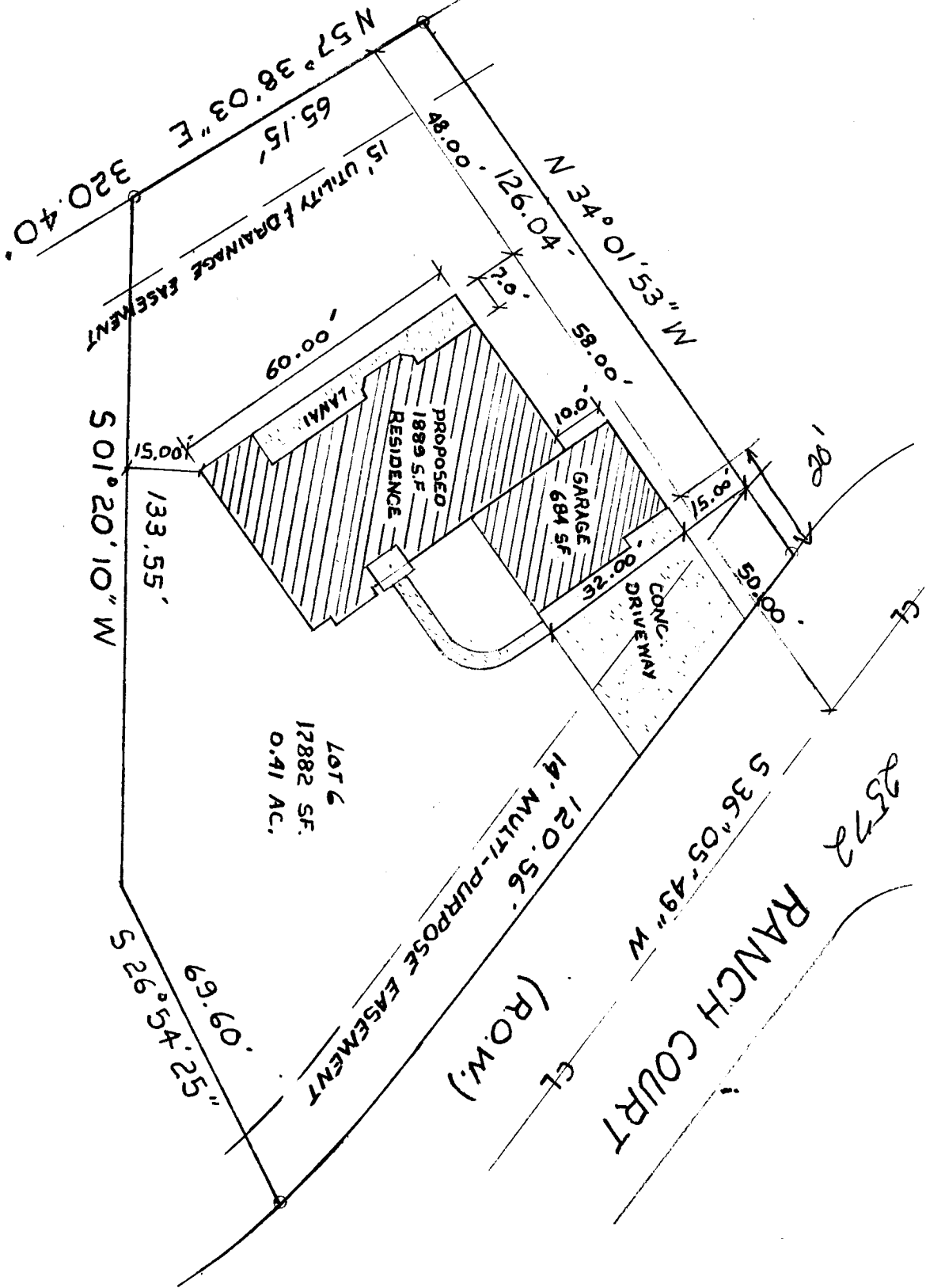
I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Jeffrey D Kelley Date 6-10-97
 Department Approval Tristen L. Anderson Date 6/12/97

Additional water and/or sewer tap fee(s) are required: YES NO _____ W/O No. 10264
 Utility Accounting Chelsea Date 6-12-97

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



SCALE: 1" = 30'

Colorado Homes
 186 1/2 Glory View Dr.
 Grand Junction, CO 81503

ACCEPTED KCA 6/2/97
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

SITE PLAN

Lot 6 in Block 2 of
 WILSON RANCH FILING FOUR
 Mesa County, Colorado

DENY
 LOCATION O.K.

W. Ashlock

6/11/97