

NICKEL

Planning \$ <u>Pd w/ SPR</u>	Drainage \$ <u>1809.00</u>
TCP \$ <u>See attached letter</u>	School Impact \$ <u>NA</u>

BLDG PERMIT NO. <u>U3488</u>
FILE # <u>FPP-1997-142</u>

### PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)

**Grand Junction Community Development Department**

THIS SECTION TO BE COMPLETED BY APPLICANT

BLDG ADDRESS 1635 N. 1st St TAX SCHEDULE NO. 2945 109-12-038

SUBDIVISION SYLVAN MINOR SUB SQ. FT. OF PROPOSED BLDG(S)/ADDITION 5200 #

FILING \_\_\_\_\_ BLK \_\_\_\_\_ LOT 2 SQ. FT. OF EXISTING BLDG(S) NA

(1) OWNER Kerry/Jay Murodock NO. OF DWELLING UNITS  
 BEFORE: \_\_\_\_\_ AFTER: NA CONSTRUCTION

(1) ADDRESS 6551 Lakeside Lane  
Grand Junction, CO 81506

(1) TELEPHONE (970) 242-5555 NO. OF BLDGS ON PARCEL  
 BEFORE: 0 AFTER: 1 CONSTRUCTION

(2) APPLICANT Joe Gambrell Same USE OF ALL EXISTING BLDGS NA

(2) ADDRESS Same DESCRIPTION OF WORK & INTENDED USE:  
Construct new office building

(2) TELEPHONE Same

✓ Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PB Landscaping / Screening Required: NO

SETBACKS: Front \_\_\_\_\_ from Property Line (PL) or \_\_\_\_\_ from center of ROW, whichever is greater  
 Side \_\_\_\_\_ from PL / Rear per Plan from PL

Maximum Height \_\_\_\_\_ Parking Req'mt Per Plan - 1992

Maximum coverage of lot by structures \_\_\_\_\_ Special Conditions: DIA required w/ all improvements not installed prior to CO. TCP per letter

Genus Tract 4 Traffic Zone 10 Annx # \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the G.J. Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature Kerry C Murodock Date 1-2-98

Department Approval Kristen J. Allbeck Date 1/2/98

Additional water and/or sewer tap fee(s) are required: YES \_\_\_\_\_ NO ✓ W/O No. NO CHG IN EQM

Utility Accounting Jim Cole Date 1/2/98

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

December 4, 1997

Kerrie Ashbeck  
City Development Engineer  
City of Grand Junction  
250 N. 5th Street  
Grand Junction, CO 81501

**Re: Sylvan Minor Subdivision**

Dear Kerrie:

David and Sondra Durham own The Sylvan Learning Center. Kerry and Joy Murdock own The Nickel Want Ads. Together, we are developing Sylvan Minor Subdivision, located at 1st Street and Mesa Avenue in Grand Junction. We will soon commence construction of two buildings on this property which will house our respective businesses.

To develop this property, we have dealt with staff of the City of Grand Junction and have obtained site-plan approval from the Grand Junction Planning Commission. In conjunction with that approval, the City has determined that we collectively owe a "Transportation Capacity Payment" of \$7,180.00. Additionally, the City has required us to replace the existing 1st Street sidewalk with a new one that meets City standards. The cost of this sidewalk we will deduct from the above-referenced TCP fee to determine a net amount owed to the City. For example, if the sidewalk replacement costs \$5,000, we will pay to the City \$2,180. Likewise, if the sidewalk replacement costs more than \$7,180, we owe no TCP to the City.

To the extent this sidewalk replacement costs less than the \$7,180 TCP, we agree to pay to the City the residual amount prior to having received a certificate of occupancy for either building. We will document the sidewalk costs by submitting invoice copies to the City from the contractor(s) who worked on the sidewalk.

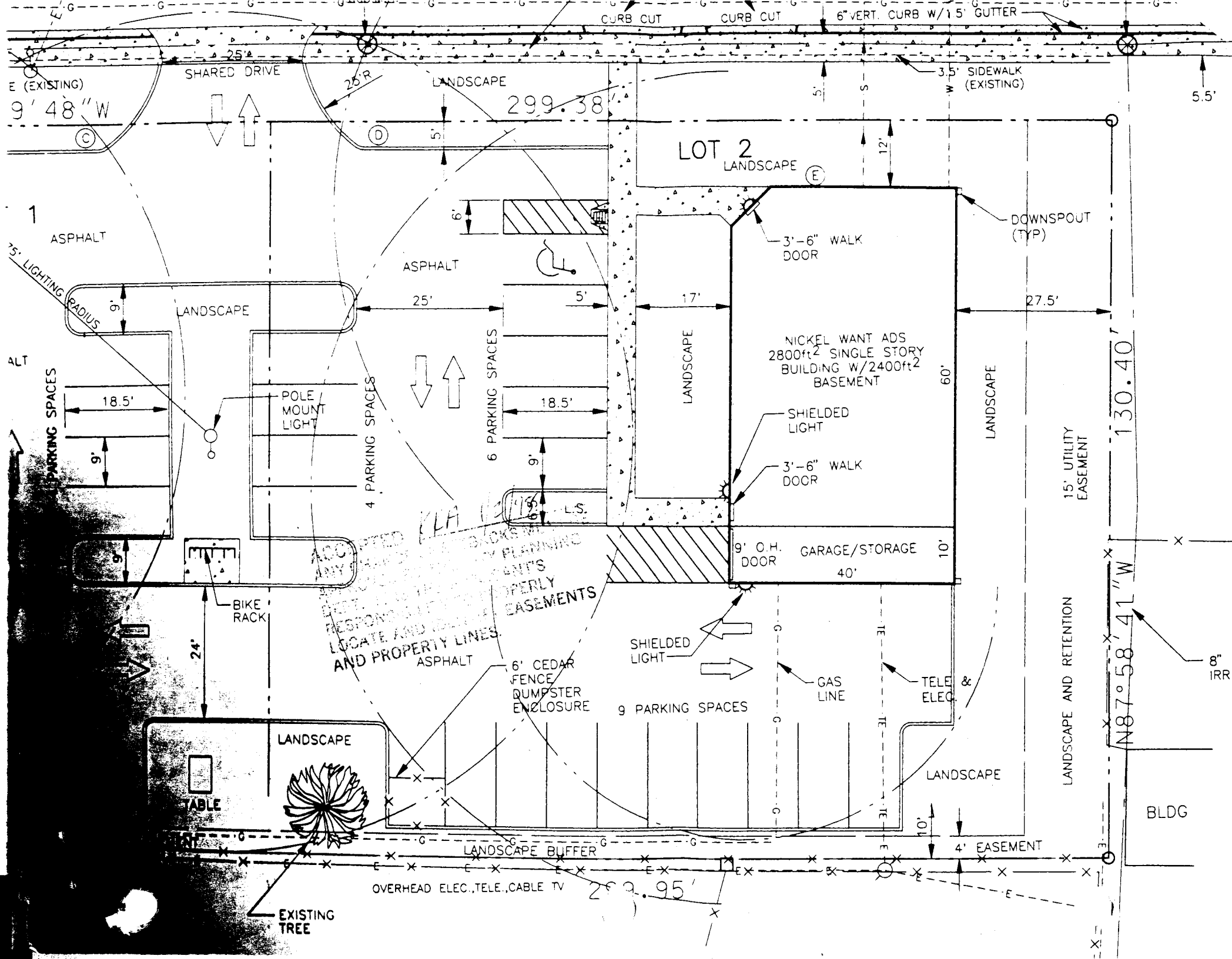
Cordially,

David Durham 12/9/97  
Date

Sondra L. Durham 12-9-97  
Date

Kerry L. Murdock 12-9-97  
Date

Joy Murdock 12-9-97  
Date



NOT BE USED FOR ANY PLANNING  
RESPONSIBILITY WITHOUT PROPERLY  
LOCATE AND DEFINE EASEMENTS  
AND PROPERTY LINES.

OVERHEAD ELEC., TELE., CABLE TV

N87°58'41"W

130.40'

8" F IRR.

BLDG

LANDSCAPE AND RETENTION

15' UTILITY EASEMENT

LANDSCAPE

LOT 2

LANDSCAPE

NICKEL WANT ADS  
2800ft<sup>2</sup> SINGLE STORY  
BUILDING W/2400ft<sup>2</sup>  
BASEMENT

9' O.H. GARAGE/STORAGE  
DOOR 40' 10'

SHIELDED LIGHT

3'-6" WALK DOOR

3'-6" WALK DOOR

LANDSCAPE

SHIELDED LIGHT

9 PARKING SPACES

6' CEDAR FENCE  
DUMPSTER ENCLOSURE

ASPHALT

ACC

LANDSCAPE

TABLE

EXISTING TREE

BIKE RACK

POLE MOUNT LIGHT

LANDSCAPE

ASPHALT

ASPHALT

SHARED DRIVE

E (EXISTING)

9' 48" W

299.38'

CURB CUT

CURB CUT

6" VERT. CURB W/15' GUTTER

3.5' SIDEWALK (EXISTING)

5.5'

5'

5'

12'

(D)

(E)

1

PARKING SPACES

4 PARKING SPACES

6 PARKING SPACES

DOWNSPOUT (TYP)

27.5'

60'

10'

17'

5'

25'

9'

18.5'

9'

9'

18.5'

9'

L.S.

ASPHALT

ASPHALT

LANDSCAPE

4' EASEMENT

LANDSCAPE BUFFER

299.95'

X

X

X

X

X

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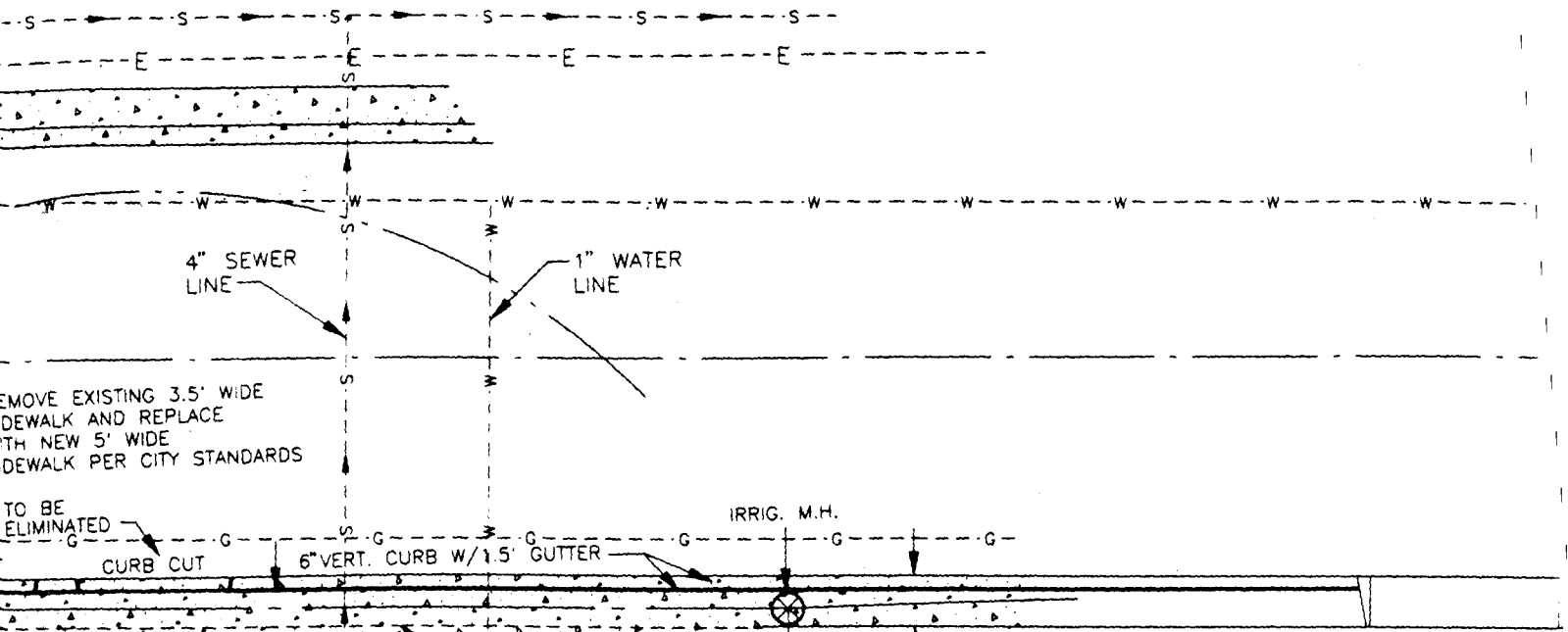
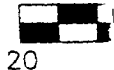
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EMPLOYEE PARKING - 10  
CUSTOMER PARKING - 10

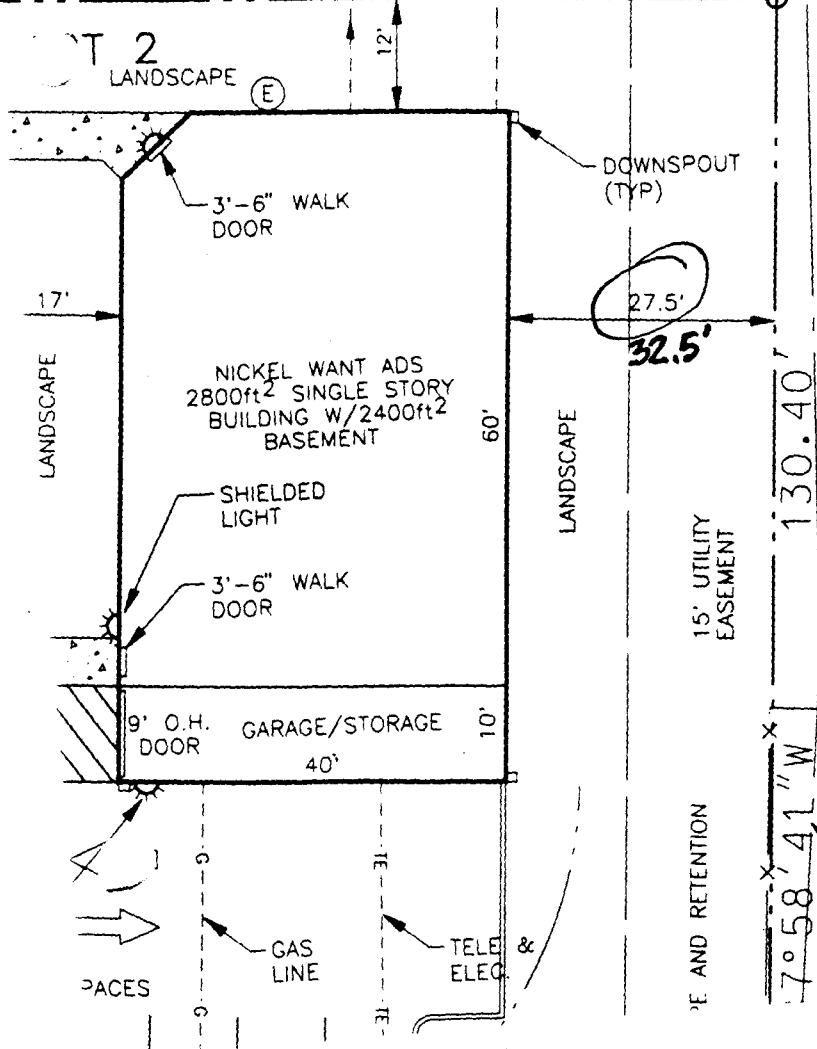
TOTAL 19 (INCLUDES 1 HANDICAP SPACE)

NOTE: BICYCLE RACK WILL BE PROVIDED



REMOVE EXISTING 3.5' WIDE  
DEWALK AND REPLACE  
WITH NEW 5' WIDE  
DEWALK PER CITY STANDARDS

TO BE  
ELIMINATED  
CURB CUT  
6" VERT. CURB W/ 1.5" GUTTER  
IRRIG. M.H.



ACCEPTED *10/11/98*  
ANY CHANGES TO THIS PLAN MUST BE  
APPROVED BY THE CITY PLANNING  
DEPARTMENT. THE APPLICANT'S  
RESPONSIBILITY TO PROPERLY  
LOCATE AND IDENTIFY EASEMENTS  
AND PROPERTY LINES.

**CHANGE TO ALLOW  
FOR EGRESS ON SOUTH SIDE  
OF BUILDING.**

COMMERCIAL

15' UTILITY  
EASEMENT

RETENTION

8" PVC  
IRR. PIPE