

FEE \$	10 ⁻
TCP \$	0
SIF \$	292 ⁻



BLDG PERMIT NO. 63834

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG ADDRESS 2043 F 3/4 Rd TAX SCHEDULE NO. 2947-152-30-008
 SUBDIVISION Independence Ranch SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2158
 FILING 2 BLK 1 LOT 3 SQ. FT. OF EXISTING BLDG(S) 0
 (1) OWNER Brad Harrell NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 2320 Mescalero NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) TELEPHONE 243-3738 USE OF EXISTING BLDGS Single Family Res.
 (2) APPLICANT Brad Harrell DESCRIPTION OF WORK AND INTENDED USE:
 (2) ADDRESS SHINE
 (2) TELEPHONE SHINE New Home

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR 2.4 Maximum coverage of lot by structures _____
 SETBACKS: Front 25' from property line (PL) Parking Req'mt 2
 or _____ from center of ROW, whichever is greater
 Side 10' from PL Rear 20' from PL Special Conditions _____
 Maximum Height 32' CENSUS 1402 TRAFFIC 88 ANNEX# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 2-6-98
 Department Approval [Signature] Date 2-12-98

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. #10936 TR 83774

Utility Accounting [Signature] Date 2-12-98

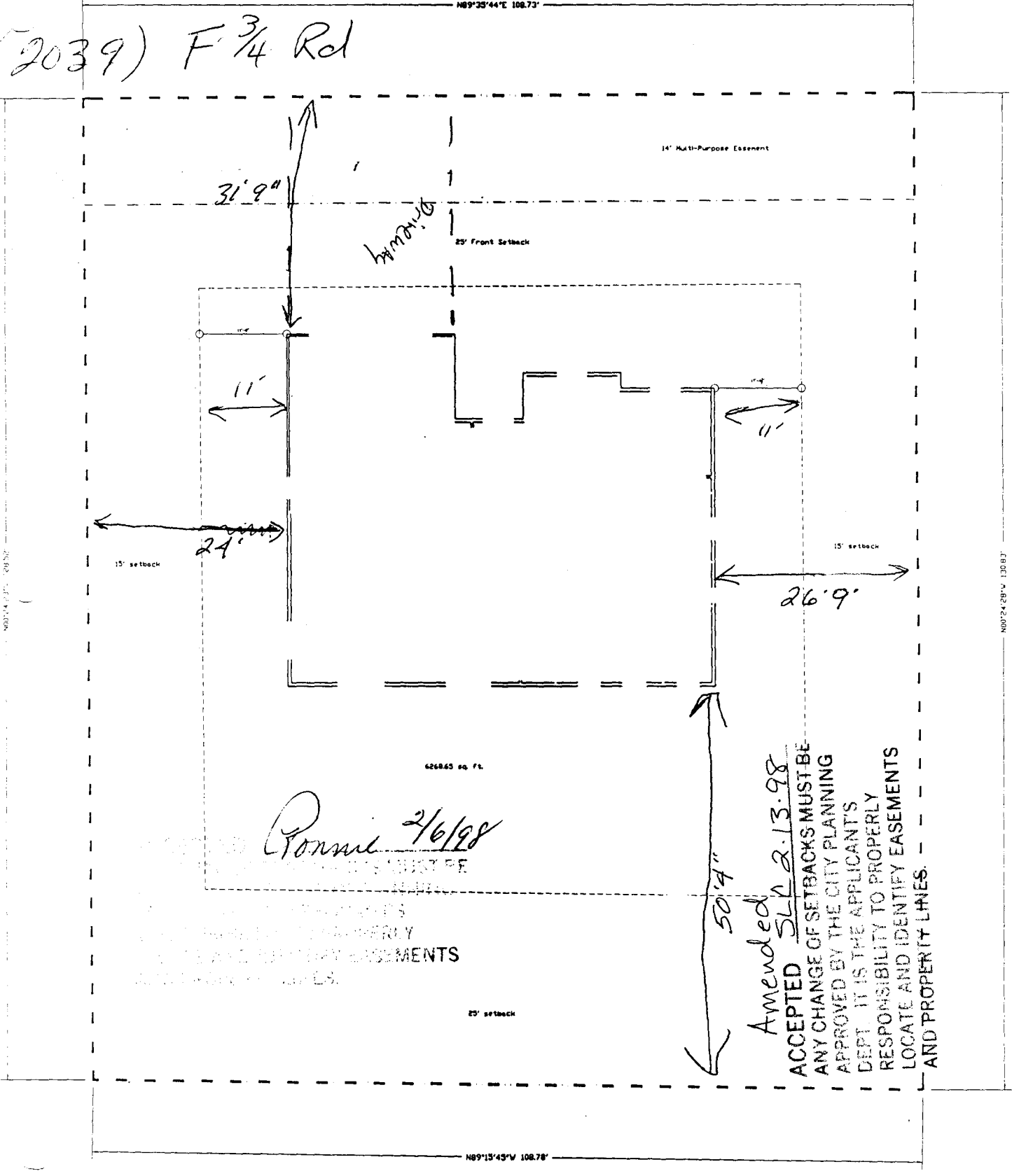
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

1/20/98
RE DASHED 1/20/98
DENYWAY LOCATED AT

Front

(2039) F 3/4 Rd



Ronnie 2/6/98

Amended
 ACCEPTED SLIP 2.13.98
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING
 DEPT. IT IS THE APPLICANT'S
 RESPONSIBILITY TO PROPERLY
 LOCATE AND IDENTIFY EASEMENTS
 AND PROPERTY LINES.

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-20 Grand Junction Zoning & Development Code)

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