

FEE \$	10.00
TCP \$	—
SIF \$	—



BLDG PERMIT NO. 67882

### PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)  
**Community Development Department**

BLDG ADDRESS 2327 Falcoa Pt. Ct. TAX SCHEDULE NO. 2945-083-23.003

SUBDIVISION South Rim SQ. FT. OF PROPOSED BLDG(S)/ADDITION 3126<sup>sq</sup>

FILING 3 BLK 1 LOT 3 SQ. FT. OF EXISTING BLDG(S) \_\_\_\_\_

(1) OWNER Glenn Larson NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS \_\_\_\_\_

(1) TELEPHONE 260-0535 NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(2) APPLICANT Premier Homes USE OF EXISTING BLDGS \_\_\_\_\_

(2) ADDRESS 2351 South Rim Dr DESCRIPTION OF WORK AND INTENDED USE: \_\_\_\_\_

(2) TELEPHONE (970) 242-9418 Single Family Residence

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE PR-3.5 Maximum coverage of lot by structures \_\_\_\_\_

SETBACKS: Front 25' from property line (PL) Parking Req'mt 2  
 or \_\_\_\_\_ from center of ROW, whichever is greater

Side 10' from PL Rear 20' from PL Special Conditions \_\_\_\_\_

Maximum Height \_\_\_\_\_

CENSUS 401 TRAFFIC 91 ANN# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 12-4-98

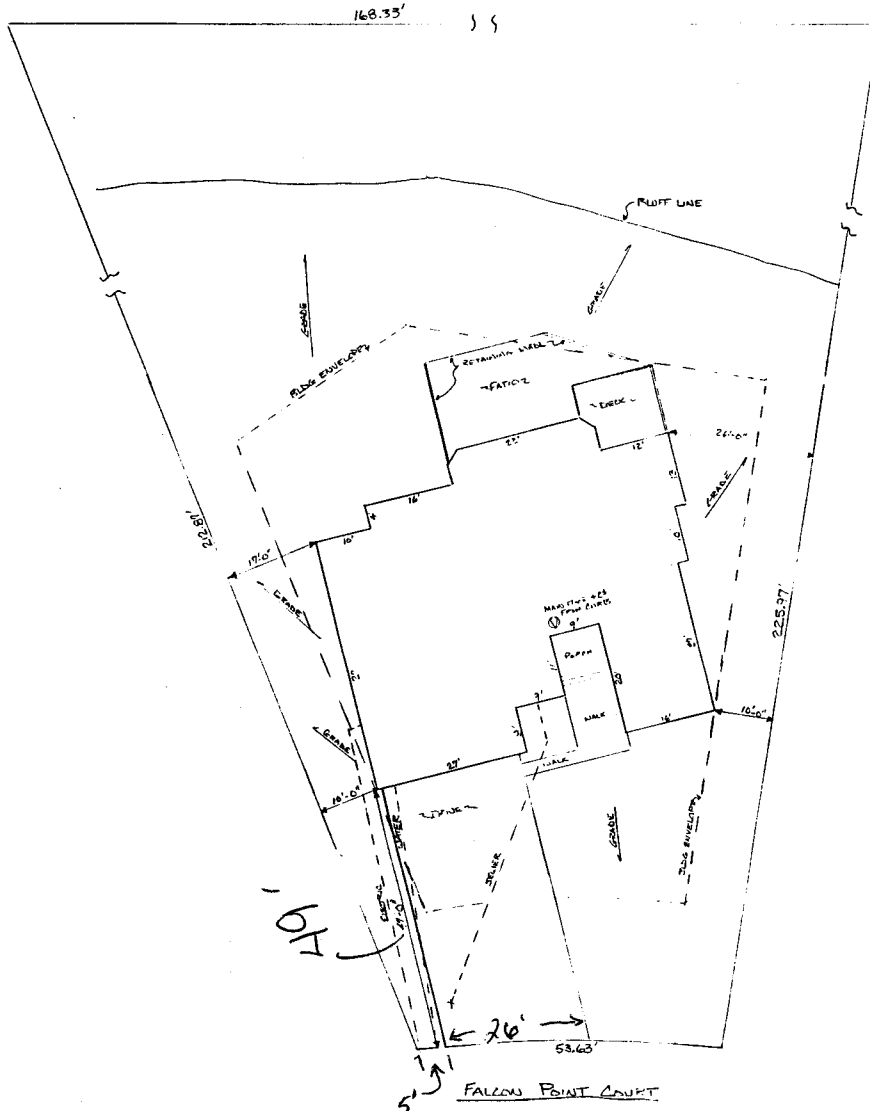
Department Approval [Signature] Date 12-7-98

Additional water and/or sewer tap fee(s) are required YES  NO \_\_\_\_\_ W/O No. #11806

Utility Accounting [Signature] Date 12-7-98

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



ACCEPTED XV 12-7-98  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

LOT 3, BLK 1  
 SOUTH RIM FLING 3  
 SCALE 1" = 10'-0"

DRIVEWAY LOCATION O.K.  
 DE Address 12/4/98

LARSON RESIDENCE	
DATE: 12/10/98	DESIGNED BY: [ ]
SITE PLAN	
PREMIER HOMES	SHEET 002

2325 FALCON PT. CT.