

FEE \$	10 ⁻
TCP \$	500 ⁻
SIF \$	0



BLDG PERMIT NO. 621634

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG ADDRESS 366 Plateau Drive TAX SCHEDULE NO. 2945-0201-09-042

SUBDIVISION Ridges SQ. FT. OF PROPOSED BLDG(S)/ADDITION _____

FILING 3 BLK 17 LOT 14B SQ. FT. OF EXISTING BLDG(S) _____

(1) OWNER Peck Construction NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 2347 South Rind Drive

(1) TELEPHONE 243-5560 NO. OF BLDGS ON PARCEL
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(2) APPLICANT Peck Construction USE OF EXISTING BLDGS _____

(2) ADDRESS ~~107 Glendale Rd~~ 2347 South Rind Drive DESCRIPTION OF WORK AND INTENDED USE: _____

(2) TELEPHONE 243-5560 Single Family

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR-4 Maximum coverage of lot by structures _____

SETBACKS: Front 20' from property line (PL) Parking Req'mt 2
 or _____ from center of ROW, whichever is greater

Side 10' from PL Rear 10' from PL Special Conditions ACC approval

Maximum Height 25' required-

CENSUS 1401 TRAFFIC 96 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 4/16/98

Department Approval [Signature] Date 4-16-98

Additional water and/or sewer tap fees are required: YES NO _____ W/O No. 11200

Utility Accounting [Signature] Date 4/16/98

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

PINE TERRACE ARCHITECTURAL CONTROL

Owner: Peak Construction Specialist
 Address: 2347 South Rim Drive
 Phone: 243-5560
 Property Address: 366 Plateau Drive
 Legal: Lot 14B Block 17 Ridge
 A -Approved
 NA -Not Approved

Address: 2347 South Rim Drive
 Phone: 243-5560
 Workers Comp. Certificate Waive -
 Liability Insurance
 Insurance Certificate Attached
 License #: 2980293

SITE PLAN (see Covenants)

- A NA 20
 Front setback (25'0" minimum) _____
- Rear setback (25'0" minimum) _____
- Side setbacks (15'0" minimum "B" and "C" lots) _____
- Square Footage (1600 minimum) 1382
- Sidewalks _____
- Driveway (concrete) Yes
- Drainage (show on plat plan) _____
- Landscaping By owner

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Pine Terrace Homeowners Association.

EXTERIOR ELEVATIONS

- Height (25' 0" maximum) less than 20'
- Roof - Material Asphalt Color Weathered Wood
- Trim - Color Bering Green KWAL 8096N
- Siding - Material Hardboard - Cottage lap Color KWAL Tegulls 8672W
- Brick - Color _____
- Stone - Color _____
- Balcony _____
- Porches or Patios _____
- Other _____

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

**APPROVED Ridges Architectural
 Control Committee**

NOTE: ACCO makes no judgment on foundation design.

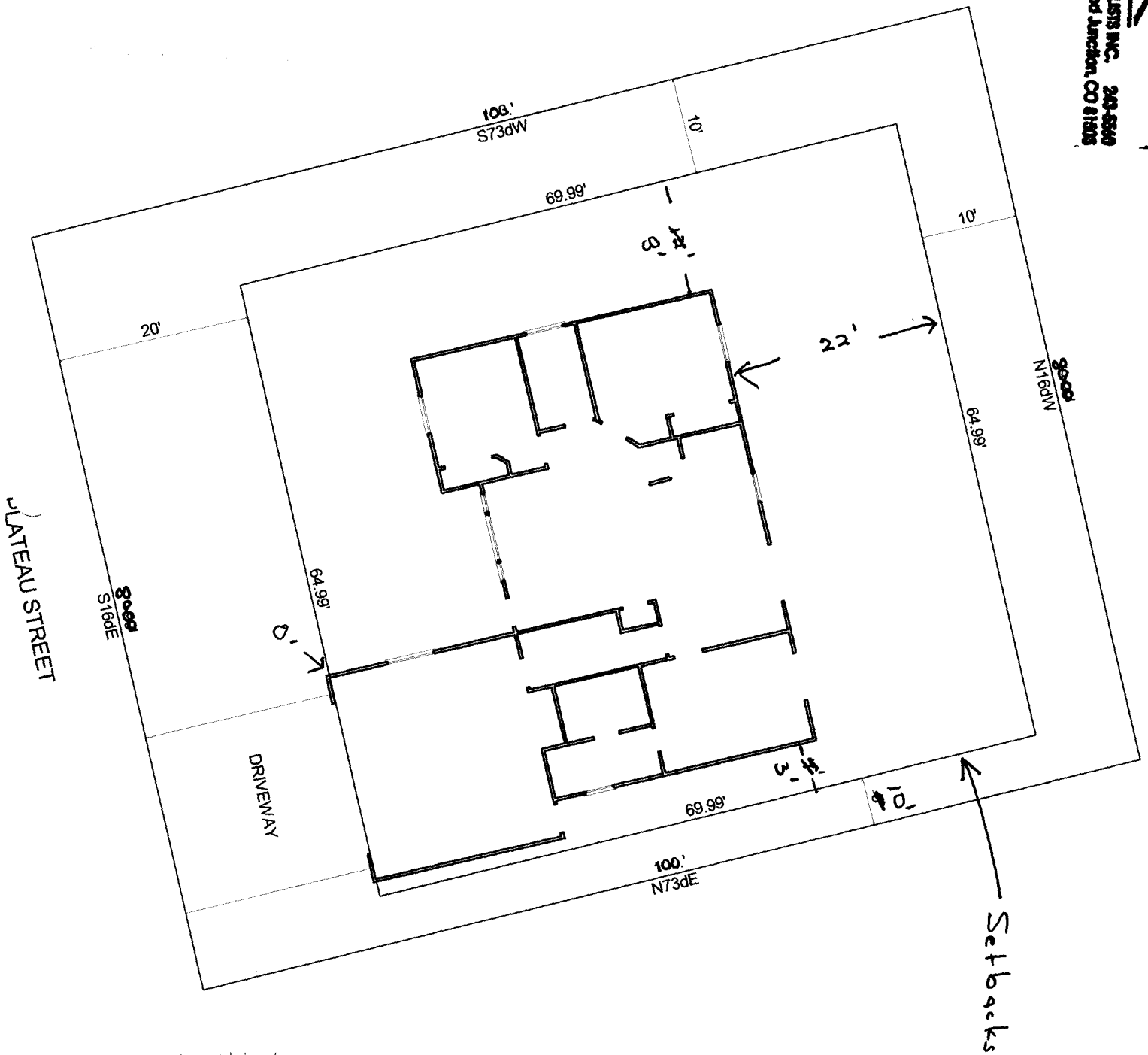
By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, drainage, front, rear, side, elevations and roof plans.

Pine Terrace Architectural Control Committee
 By [Signature]
 By [Signature]

Builder/ Homeowner
 By [Signature] Milo Johnson
 By [Signature] Peak Construction

1544 243-5560

ACCEPTED XV 4-16-98
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES



DRIVEWAY LOCATION O.K.

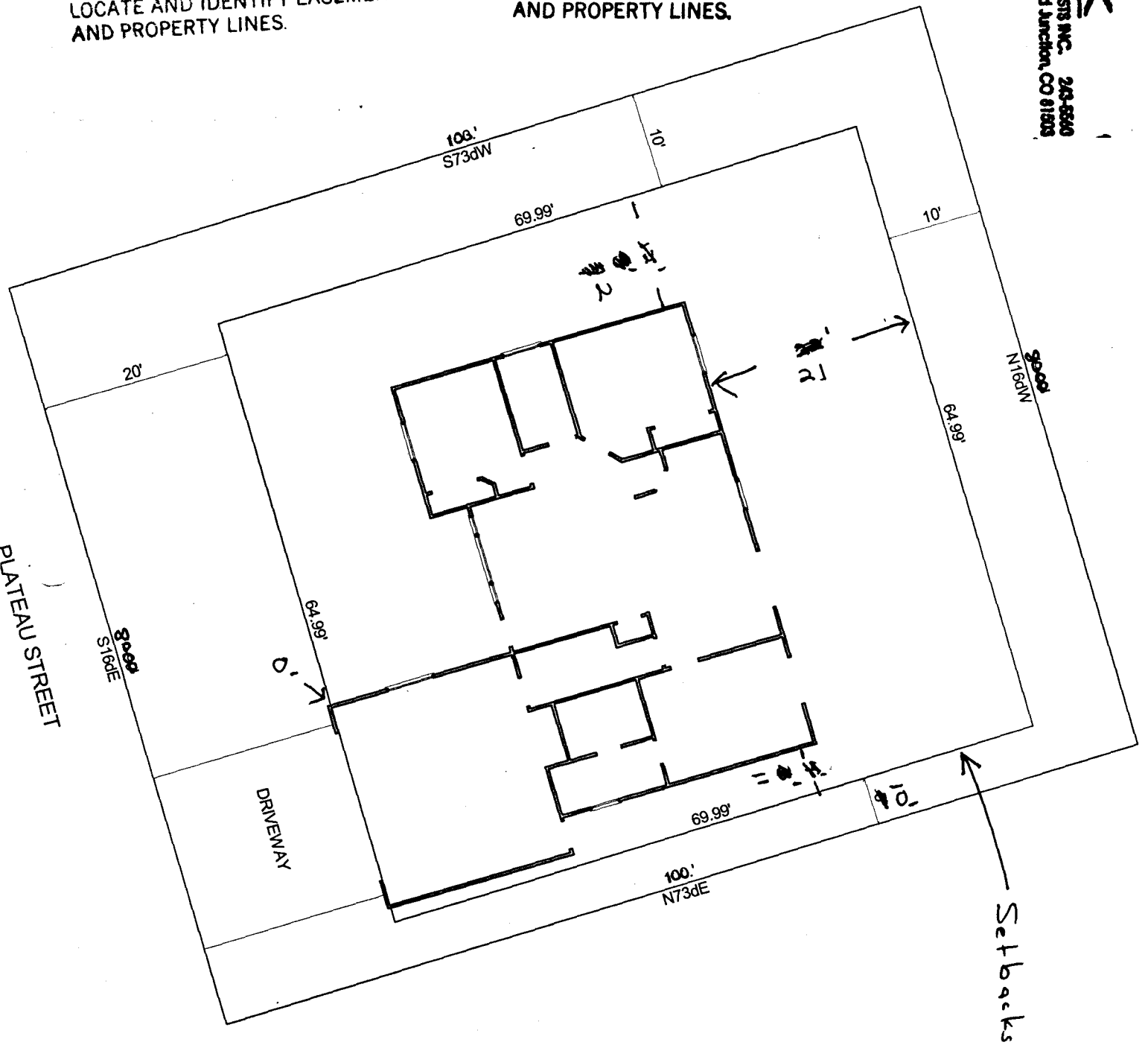
Review setback 4/9/98

~~FOR~~ CONCRETE REQUIRED - EXISTING ONE OUT THERE O.K.
 IF IT IS CLEANED OUT & UNCOVERED

ACCEPTED KV 4-10-98
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

Amended
 ACCEPTED 4-27-98
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

PEAK
 CONSTRUCTION SPECIALISTS INC. 243-8640
 2347 South Rim Drive Grand Junction, CO 81505



DRIVEWAY LOCATION O.K.

Kevin Ahlbeck 4/9/98

~~NO~~ CULVERT REQUIRED - EXISTING ONE OUT THERE O.K.
 IF IT IS CLEANED OUT & UNCOVERED