

FEE \$	10.00
TCP \$	
SIF \$	



BLDG PERMIT NO. 64919

## PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

**Community Development Department**

BLDG ADDRESS 2339 Promontory Court TAX SCHEDULE NO. 2945-083-26-013

SUBDIVISION South Rim SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2422

FILING 4 BLK 1 LOT 13 SQ. FT. OF EXISTING BLDG(S) 0

(1) OWNER Meritt Coast Inc NO. OF DWELLING UNITS  
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 2337 Promontory Court NO. OF BLDGS ON PARCEL  
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) TELEPHONE 241-5164 (250-1712)

(2) APPLICANT Same USE OF EXISTING BLDGS New Res.

(2) ADDRESS N DESCRIPTION OF WORK AND INTENDED USE: \_\_\_\_\_

(2) TELEPHONE \_\_\_\_\_ New Res.

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE PR-3.5 Maximum coverage of lot by structures \_\_\_\_\_

SETBACKS: Front 25' from property line (PL) Parking Req'mt 2  
 or \_\_\_\_\_ from center of ROW, whichever is greater

Side 10'\* from PL Rear 20'\* from PL Special Conditions ACCO approval  
required - \* as per bldg envelope

Maximum Height \_\_\_\_\_ CENSUS 401 TRAFFIC 91 ANNEX# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 4-22-98

Department Approval [Signature] Date 4-29-98

Additional water and/or sewer tap fee(s) are required: YES  NO \_\_\_\_\_ W/O No. 11238

Utility Accounting [Signature] Date 4-29-98

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

REVISIONS
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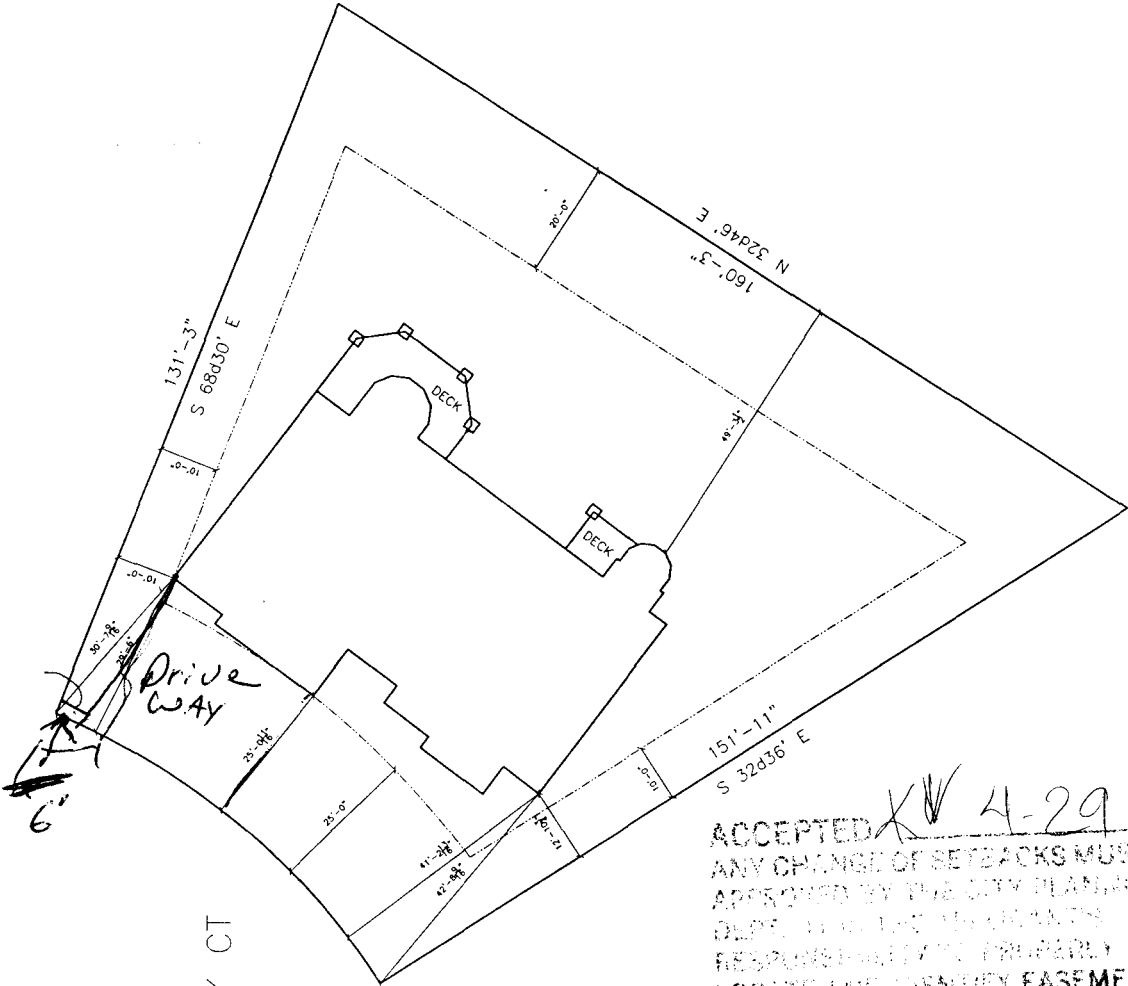
**Auto DRAFT**  
 COMPUTER AIDED DRAWING  
 GRAND JUNCTION, CO (970) 241-6782

MERRITT CONST.  
 LOT 13, FILING 4  
 SOUTH RIM

AUTOCAD  
 FILE NAME  
 PLOT.DWG  
 4-5-98  
 1" = 10'  
 SHEET 1

LOT 13  
 FILING 4  
 SOUTH RIM

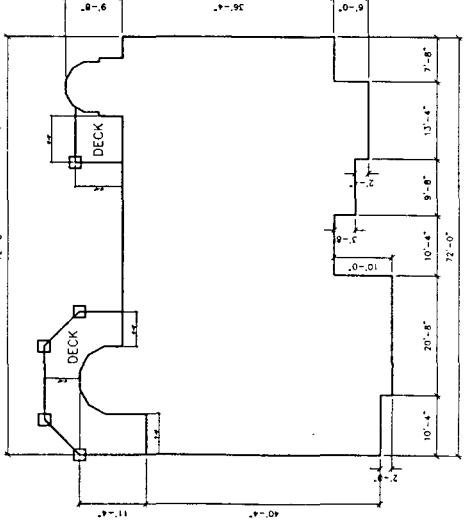
PROMONTORY CT

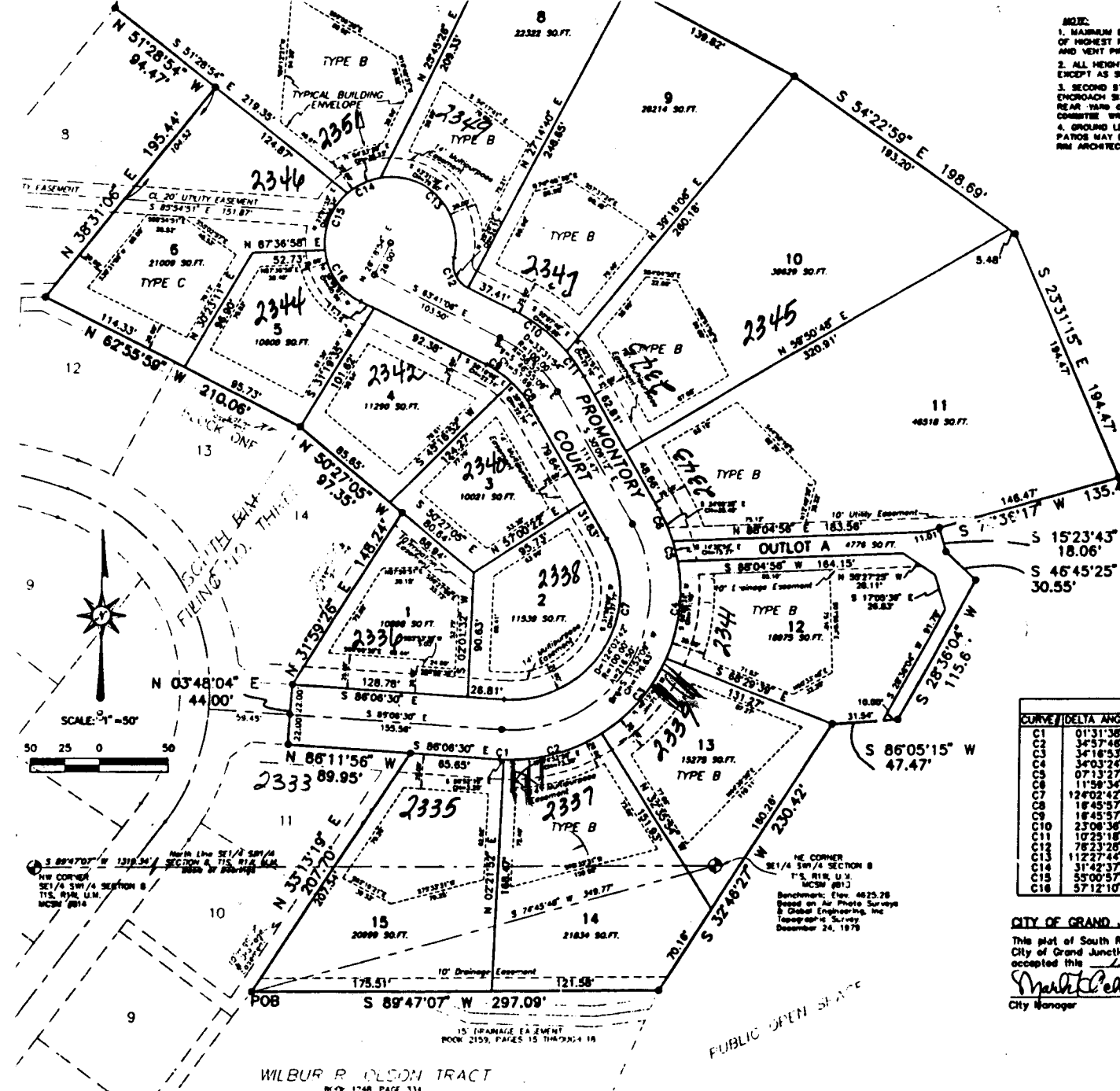


ACCEPTED *KW* 4-29-98  
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. THE LOT OWNERS RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

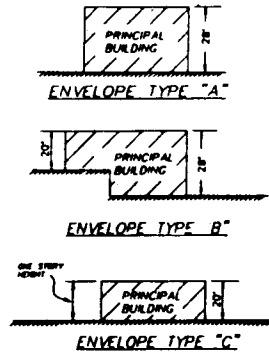
PLOT PLAN

DRIVEWAY LOCATION O.K.  
 Kelly Archuleta 9/29/98





- NOTE:**
1. MAXIMUM BUILDING HEIGHT MEASURED FROM FINISHED FLOOR TO TOP OF HIGHEST ROOF LINE RIDGE, EXCLUDING CHIMNEYS, CUPOLAS, FLUES, AND VENT PIPES, OR SIMILAR ROOF PENETRATIONS.
  2. ALL HEIGHT RESTRICTION ENVELOPES ARE TYPE "A", TYPICALLY, EXCEPT AS SHOWN.
  3. SECOND STORY OPEN AND UNCOVERED BALCONY DECK MAY ENDOACH SIX FEET MAXIMUM OUTSIDE OF BUILDING ENVELOPE ON REAR YARD ONLY, SUBJECT TO SOUTH RIM ARCHITECTURAL CONTROL COMMITTEE WRITTEN APPROVAL.
  4. OPENING LEVEL OPEN AND UNCOVERED PORCHES, DECKS, AND PATIOS MAY EXTEND BEYOND BUILDING ENVELOPES SUBJECT TO SOUTH RIM ARCHITECTURAL CONTROL COMMITTEE WRITTEN APPROVAL.



The said owner does hereby dedicate accompanying plat, which is a part of RIM PLANNED UNIT DEVELOPMENT, to the City of Grand Junction, Colorado, for the use of streets, sidewalks, and other public improvements, and to restrict the Official Records of Mesa County.

All Streets and Rights-of-way to the City of Grand Junction, Colorado, for the use of streets, sidewalks, and other public improvements, and to restrict the Official Records of Mesa County.

All Multipurpose Easements to the City of Grand Junction, Colorado, for the use of streets, sidewalks, and other public improvements, and to restrict the Official Records of Mesa County.

All Utility Easements to the City of Grand Junction, Colorado, for the use of streets, sidewalks, and other public improvements, and to restrict the Official Records of Mesa County.

All Irrigation Easements as set forth in the accompanying plat, which is a part of RIM PLANNED UNIT DEVELOPMENT, to the City of Grand Junction, Colorado, for the use of streets, sidewalks, and other public improvements, and to restrict the Official Records of Mesa County.

All Drainage Easements hereby plotted, for the use of streets, sidewalks, and other public improvements, and to restrict the Official Records of Mesa County.

All easements include the right of ingress and egress by the beneficiaries, their heirs, assigns, and assigns, and the right to remove interfering trees and brush, and to install and maintain any improvements thereon which may be necessary for the proper use and enjoyment of the property.

The owners hereby declare there are no other easements, rights, or interests in the property, other than those shown on this plat.

IN WITNESS WHEREOF, said owners have hereunto set their hands and official seals this 12th day of January, A.D. 1996.

Loose Development Corporation, a California Corporation

*David G. Behrman*  
by David G. Behrman, Vice President

STATE OF COLORADO  
COUNTY OF MESA

The foregoing instrument was acknowledged before me this 12th day of January, A.D. 1996, by the said parties, and was duly read and explained to them, and they acknowledged to me that they executed the same for the purposes and contents herein expressed.

My Commission Expires 11-01-97

CLERK AND RECORDER'S

STATE OF COLORADO  
COUNTY OF MESA

I hereby certify that this instrument was recorded on this 12th day of January, A.D. 1996, at \_\_\_\_\_ o'clock

A.D. 1996, and was duly read and explained to them, and they acknowledged to me that they executed the same for the purposes and contents herein expressed.

CURVE #	DELTA ANGLE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	CHORD
C1	01°31'36"	122.00'	3.25'	1.63'	3.25'	S 86°52'19" E	3.25'
C2	34°51'45"	122.00'	74.45'	38.42'	74.45'	N 74°52'59" E	73.30'
C3	34°03'24"	122.00'	72.52'	37.37'	72.52'	S 08°05'31" W	71.45'
C4	07°13'27"	122.00'	15.38'	7.70'	15.38'	S 14°32'54" E	15.37'
C5	11°59'34"	122.00'	25.54'	12.82'	25.54'	S 24°09'25" E	25.49'
C6	12°40'24"	78.00'	188.87'	148.84'	188.87'	S 31°52'09" W	137.77'
C7	18°45'57"	78.00'	22.82'	11.49'	22.82'	S 38°32'11" E	22.74'
C8	18°45'57"	78.00'	22.82'	11.49'	22.82'	S 55°18'08" E	22.74'
C9	23°08'36"	122.00'	49.21'	24.94'	49.21'	S 52°07'48" E	48.88'
C10	10°25'18"	122.00'	22.18'	11.13'	22.18'	S 35°21'31" E	22.18'
C11	76°23'26"	20.00'	26.87'	15.74'	26.87'	N 25°29'22" W	24.73'
C12	11°22'44"	48.00'	84.22'	71.79'	84.22'	S 43°31'30" E	79.90'
C13	31°42'37"	48.00'	28.57'	13.83'	28.57'	N 64°23'20" E	26.23'
C14	55°00'57"	48.00'	48.08'	25.00'	48.08'	N 21°01'33" E	44.34'
C15	57°12'10"	48.00'	47.92'	26.17'	47.92'	N 35°05'01" W	45.96'

**CITY OF GRAND JUNCTION APPROVAL**

This plat of South Rim Filing No. Four, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado, is approved and accepted this 12th day of January, A.D. 1996.

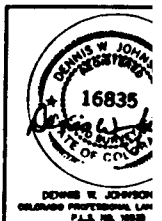
*Mark Cohen*  
City Manager

*Ken Morrison*  
President of City Council

**SURVEYOR'S CERTIFICATION**

I, DENNIS W. JOHNSON, DO HEREBY CERTIFY THAT THE ACCOMPANYING PLAT OF SOUTH RIM FILING NO. FOUR, A SUBDIVISION OF A PART OF THE CITY OF GRAND JUNCTION, COLORADO HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION AND REPRESENTS A FIELD SURVEY OF SAME. THIS PLAT CONFORMS TO THE REQUIREMENTS FOR SUBDIVISION PLATS SPECIFIED IN THE CITY OF GRAND JUNCTION DEVELOPMENT CODE AND THE APPROPRIATE LAWS OF THE STATE OF COLORADO.

Date certified Jan 25 1996



all bearings assume the North line of the SE1/4 of Section 8 to bear N 89°47'07" E, 1318.34 feet, as shown on the recorded Plat of South Rim Filing No. One, Plot Book 14, Page 198-199.

lots: Property corners located during this survey that were within 0.25 feet of the calculated point were accepted as being "in position".

NOTED: ACCORDING TO COLORADO LAW IN ACTION BASED UPON ANY DEFECT IN THIS PLAT AFTER FOUR YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

AREA SUMMARY	
AREA IN LOTS	= 7.750 ACRES 93.35%
AREA IN ROWS	= 0.742 ACRES 8.93%
OUTLOT A	= 0.110 ACRES 1.32%
TOTAL	= 8.602 ACRES 100.00%

- LEGEND**
- MESA COUNTY OR BLM SURVEY MARKER
  - BENCHMARK SET CENTROPOLIS INSTRUMENT, No. 8 REBAR
  - BENCH MARK CAP IS 1/2" DIA. IN MONUMENT BOX
  - SET ALUMINUM CAP ON No. 8 REBAR, PLUS 1/2" DIA. CONCRETE
  - (M) SPOT-DOWN MEASUREMENT
  - 1" DIA REBAR, AS NOTED
  - 1" DIA REBAR, AS NOTED
  - SET ALUMINUM CAP ON No. 8 REBAR, PLUS 1/2" DIA. CONCRETE AT ALL T CORNERS