

Planning \$ <u>5⁰⁰</u>	Drainage \$ <u>—</u>
TCP \$ <u>—</u>	School Impact \$ <u>—</u>

BLDG PERMIT NO. <u>68479</u>
FILE #

PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)
Grand Junction Community Development Department

THIS SECTION TO BE COMPLETED BY APPLICANT

BUILDING ADDRESS <u>592 N Commercial</u>	TAX SCHEDULE NO. <u>2945-102-14-050</u>
SUBDIVISION <u>Westgate Park</u>	SQ. FT. OF PROPOSED BLDG(S)/ADDITION <u>—</u>
FILING <u>—</u> BLK <u>3</u> LOT <u>1/2 of 8, 9 thru 11</u>	SQ. FT. OF EXISTING BLDG(S) <u>60' x 100'</u>
OWNER <u>Del & Cathy Cummings</u>	NO. OF DWELLING UNITS: BEFORE <u>—</u> AFTER <u>—</u> CONSTRUCTION
ADDRESS <u>—</u>	NO. OF BLDGS ON PARCEL: BEFORE <u>1</u> AFTER <u>1</u> CONSTRUCTION
TELEPHONE <u>241-5142</u>	USE OF ALL EXISTING BLDGS <u>warehouse & office</u>
APPLICANT <u>KD Construction</u>	DESCRIPTION OF WORK & INTENDED USE: <u>—</u>
ADDRESS <u>2385 Sayre Drive</u>	<u>NO change in use -</u>
TELEPHONE <u>242-7780</u>	<u>interior walls only.</u>

✓ Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE <u>C2</u>	LANDSCAPING/SCREENING REQUIRED: YES <u>—</u> NO <u>—</u>
SETBACKS: FRONT: <u>—</u> from Property Line (PL) or <u>—</u> from center of ROW, whichever is greater	PARKING REQUIREMENT: <u>—</u>
SIDE: <u>—</u> from PL REAR: <u>—</u> from PL	SPECIAL CONDITIONS: <u>interior remodel only</u>
MAXIMUM HEIGHT <u>—</u>	CENSUS TRACT <u>4</u> TRAFFIC ZONE <u>10</u> ANNEX <u>—</u>
MAXIMUM COVERAGE OF LOT BY STRUCTURES <u>—</u>	

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the Grand Junction Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

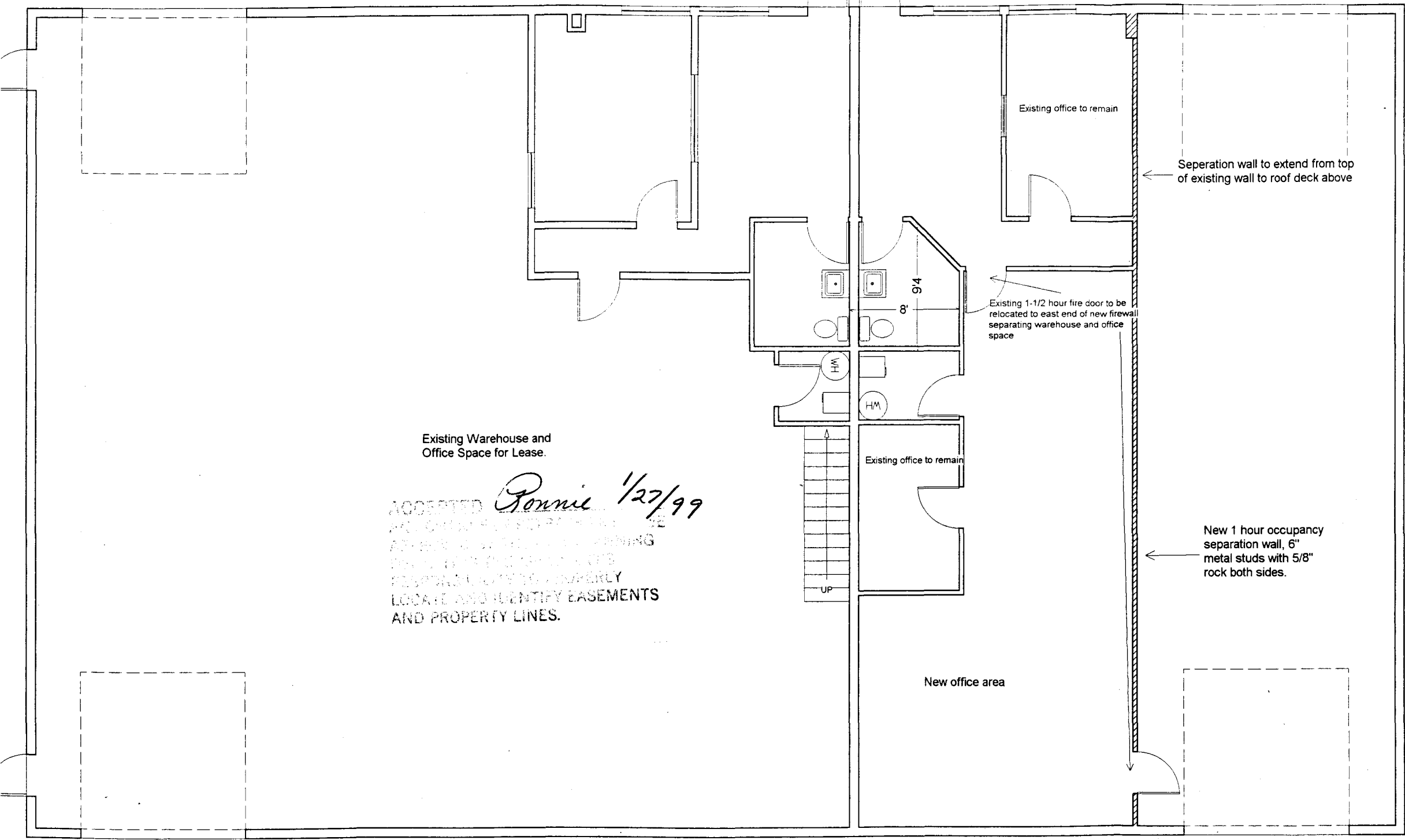
I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature <u>Kurt Cowell</u>	Date <u>1-27-99</u>
Department Approval <u>Gronnie Edwards</u>	Date <u>1-27-99</u>

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No. <u>405578952</u> ^{TR} <u>88360</u>
Utility Accounting <u>Lee Anderson</u>	Date <u>1-27-99</u>		

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning and Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



Existing Warehouse and Office Space for Lease.

ACCEPTED *Ronnie 1/27/99*
 ARCHITECTURAL FLOOR PLAN
 APPROVED BY THE ARCHITECT
 RESPONSIBILITY TO CORRECTLY
 LOCATE AND IDENTIFY EASEMENTS
 AND PROPERTY LINES.

Existing office to remain

Seperation wall to extend from top of existing wall to roof deck above

Existing 1-1/2 hour fire door to be relocated to east end of new firewall separating warehouse and office space

9'4"

Existing office to remain

New 1 hour occupancy separation wall, 6" metal studs with 5/8" rock both sides.

New office area