

FEE \$	10
TCP \$	0
SIF \$	292



BLDG PERMIT NO. 71005

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG ADDRESS ~~2663~~ ⁶⁶³ Condon Court TAX SCHEDULE NO. 2945-021-18-007

SUBDIVISION Cherry Hill SQ. FT. OF PROPOSED BLDG(S)/ADDITION 3229 sq ft.

FILING 1 BLK 1 LOT 7 SQ. FT. OF EXISTING BLDG(S) _____

(1) OWNER G-N-T Dev NO. OF DWELLING UNITS
BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 795 Garrison Court

(1) TELEPHONE 343-5902 NO. OF BLDGS ON PARCEL
BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(2) APPLICANT MERRIT Sixbey USE OF EXISTING BLDGS New Res

(2) ADDRESS 1420 Melon Street DESCRIPTION OF WORK AND INTENDED USE: _____

(2) TELEPHONE 241-5164 245-6164 New Res

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE RSF-4 Maximum coverage of lot by structures _____

SETBACKS: Front 20' from property line (PL) Parking Req'mt _____
or _____ from center of ROW, whichever is greater

Side 7' from PL Rear 30' from PL Special Conditions _____

Maximum Height 32'

CENSUS 10 TRAFFIC 20 ANNEX# _____

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 6-28-99

Department Approval Ronnie Edwards Date 6-30-99

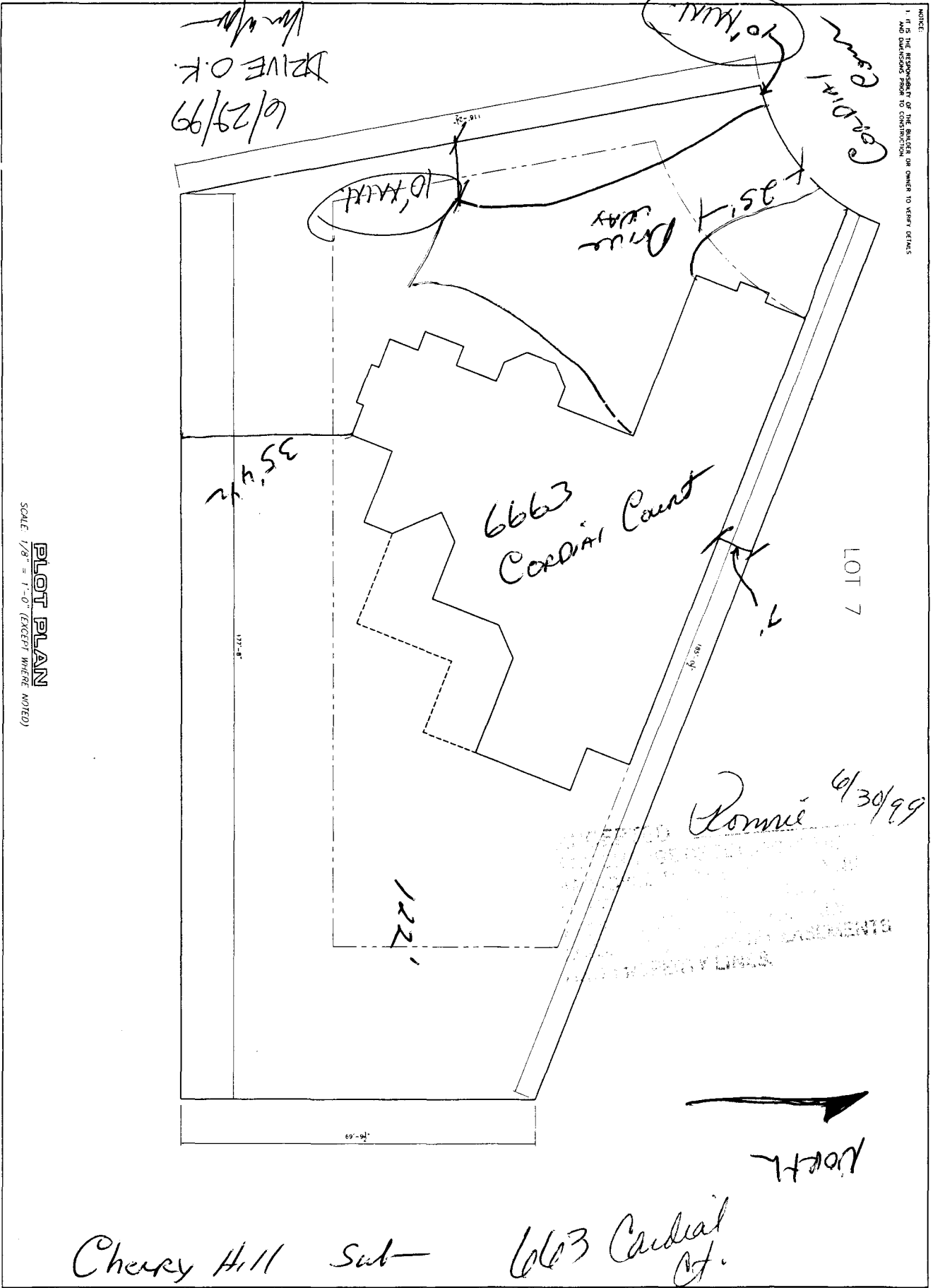
Additional water and/or sewer tap fee(s) are required: YES NO W/O No. 12450

Utility Accounting [Signature] Date 6-30-99

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

NOTICE:
1. IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO VERIFY DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.



SCALE 1/8" = 1'-0" (EXCEPT WHERE NOTED)

PLOT PLAN

DATE	5-27-99
DRAWN BY	ADULTON
CHECKED BY	
SCALE	1/8" = 1'-0"
SHEET	1
TOTAL SHEETS	1

MERRITT CONST.
PLOT PLAN



Auto DRAFT
COMPUTER AIDED DRAFTING
GRAND JUNCTION, CO (970) 241-6782

NO.	REVISIONS
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

1
4
5
2